

p:\2016\201617110\800 civil\current drawings\111 ideation way parking lot\current drawings\201617110 1.0 - 1.3 cor.dwg



EXISTING SITE LAYOUT AT 111 IDEATION WAY

SCALE: 1"=50'

1
1.1

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

400' PROPERTY LINE OFFSET

SCALE: 1"=200'

2

1.1

LEGEND:

---	PROJECT PROPERTY BOUNDARY LINE
---	ESSEX COUNTY/PASSAIC COUNTY BOUNDARY LINE
---	ADJACENT PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EDGE OF CONCRETE
---	EXISTING WALL
---	EXISTING FENCE
---	EXISTING GUIDERAIL
---	EXISTING TREE LINE
---	EXISTING STORM LINE
---	EXISTING STORM INLET
---	EXISTING STORM MANHOLE
---	EXISTING SIGN
---	EXISTING TREE
---	EXISTING SITE LIGHTING FIXTURE

REFERENCES

- EXISTING TOPOGRAPHIC SURVEY BASED ON PLAN ENTITLED "340 KINGSLAND STREET" PREPARED BY KELLER & KIRKPATRICK INC., DATED 02/06/2017.
- ROADWAY IMPROVEMENTS BASED ON PLAN ENTITLED "ROADWAY DESIGN FOR SETON HALL-HACKENSACK MERIDIAN SCHOOL OF MEDICINE", PREPARED BY GREENBERGFARROW, DATED 01/03/2017, LAST REVISED 05/04/2018.
- EXISTING BOUNDARY INFORMATION IS BASED OFF PREVIOUSLY APPROVED SUBDIVISION PREPARED FOR LOTS 1.05 & 1.06, BLOCK 300 ENTITLED, "PRELIMINARY & FINAL MAJOR SUBDIVISION, TOWNSHIP OF NUTLEY, ESSEX COUNTY, NEW JERSEY" DATED DECEMBER 20, 2018 AS PREPARED BY PS&S. THE PLAT WAS RECORDED ON DECEMBER 18, 2019 AND IS IDENTIFIED AS MAP #4711.

GreenbergFarrow

COAR: GA280797

92 East Main Street, Suite 410
Somerville, NJ 08876
t: 732-537-0811



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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/2020	BID SET
07/21/2020	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK
QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
**111 IDEATION WAY
PARKING LOT**

**NUTLEY
NEW JERSEY**

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE
REDEVELOPMENT
PLAN PHASE IIA

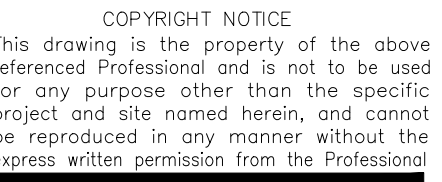
PROJECT NUMBER
20161711.0

SHEET TITLE

EXISTING
CONDITIONS
SITE PLAN

SHEET NUMBER

1.1

[illegible]

PROJECT MANAGER

RICHARD PROCANIK

THOMAS WIENCKOWSKI

4.1.1 IDEATION WAY

NUTLEY
NEW JERSEY

PROJECT NUMBER
20161711.0

SHEET TITLE

SITE DEMOLITION PLAN

SHEET NUMBER

1.2



- SITE DEMOLITION KEY NOTES

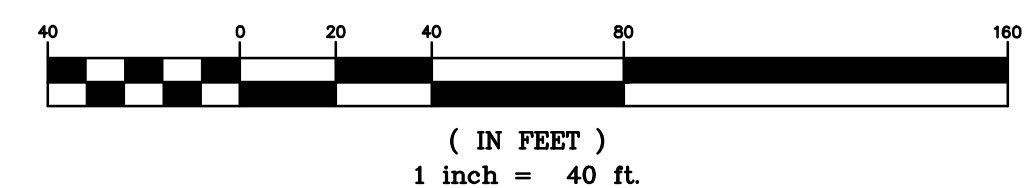
REFERENCES

- 1 SAWCUT EXISTING ASPHALT AND/OR CONCRETE PAVEMENT
- 2 REMOVE EXISTING ASPHALT PAVEMENT.
- 2A MILL AND OVERLAY EXISTING ASPHALT PAVEMENT.
- 3 REMOVE EXISTING CONCRETE PAVEMENT.
- 4 REMOVE EXISTING CURB.
- 5 REMOVE OR TRIM EXISTING TREE AND VEGETATED AREAS.
(TOTAL 18 TREES TO BE REMOVED)
- 6 REMOVE EXISTING FENCE
- 7 RELOCATE EXISTING LIGHT FIXTURE
- 8 REMOVE EXISTING SIGN

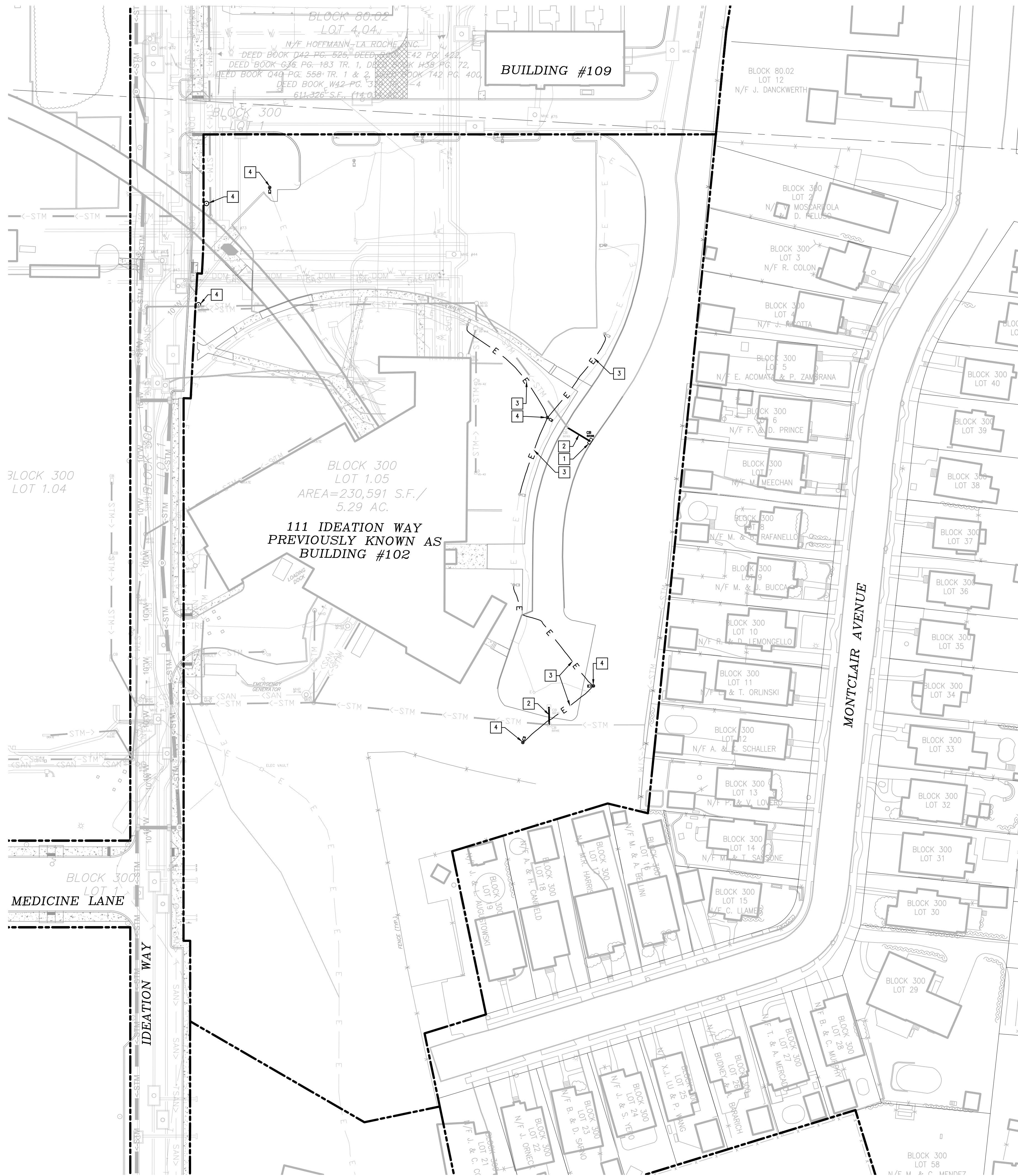
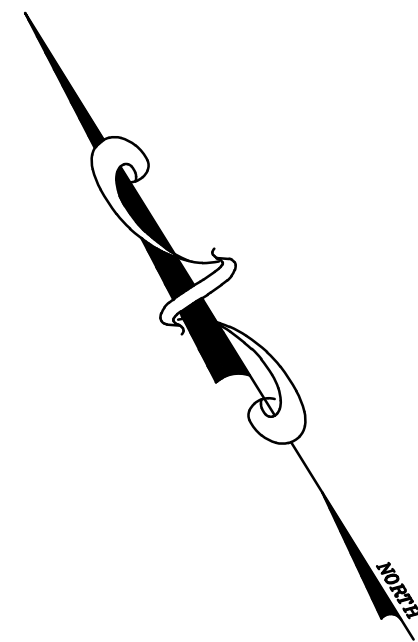
1. EXISTING TOPOGRAPHIC SURVEY BASED ON PLAN ENTITLED "340 KINGSLAND STREET" PREPARED BY KELLER & KIRKPATRICK INC., DATED 02/06/2017.
2. ROADWAY IMPROVEMENTS BASED ON PLAN ENTITLED "ROADWAY DESIGN FOR SETON HALL-HACKENSACK MERIDIAN SCHOOL OF MEDICINE", PREPARED BY GREENBERGFARROW, DATED 01/03/2017, LAST REVISED 05/04/2018.
3. EXISTING BOUNDARY INFORMATION IS BASED ON PREVIOUSLY APPROVED SUBDIVISION PREPARED FOR LOTS 1.05 & 1.06, BLOCK 30, TOWNSHIP OF "TRELMAN" PARCEL 1961, MAJOR SUBDIVISION, TOWNSHIP OF NUTLEY, ESSEX COUNTY NEW JERSEY DATED DECEMBER 20, 2018 AS PREPARED BY P&S. THE PLAT WAS RECORDED ON DECEMBER 18, 2019 AND IS IDENTIFIED AS MAP #7711.

TREE REMOVAL WITHIN BLOCK 300 — LOT 1.05		
QUANTITY	SPECIES	SIZE
1	HEMLOCK	7"
1	HOLLY	6"
1	HOLLY	7"
1	MAPLE	6"
1	OAK	21"
1	OAK	24"
1	OAK	28"
1	OAK	29"
1	OAK	30"
1	PEAR	13"
2	PINE	6"
1	PINE	7"
3	PINE	8"
1	PINE	10"
1	TWIN-PINE	6"

GRAPHIC SCALE



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LEGEND

	PROPERTY LINE		EXISTING STORM LINE TO BE REMOVED
	EXISTING STORM LINE TO REMAIN		EXISTING ELECTRIC LINE TO BE REMOVED
	EXISTING SANITARY LINE TO REMAIN		EXISTING LIGHT STRUCTURE TO BE RELOCATED

UTILITY DEMOLITION NOTES

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH THE AFFECTED PROPERTY OWNERS.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC OR PRIVATE UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY OR UTILITY COMPANY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER TO PROCEED.
- PRIOR TO THE CONSTRUCTION OF OR CONSTRUCTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM GREENBERGFARROW ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE A SUPPORT SYSTEM, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- PRIOR TO ABANDONMENT OF ANY PIPE, IT IS REQUIRED TO BE CUT, FILLED WITH FLOWABLE CONCRETE AND CAPPED IN A MANNER ACCEPTABLE TO ALL JURISDICTIONAL AUTHORITIES.
- CONTRACTOR TO NOTIFY THE MUNICIPAL ENGINEER AND ENGINEER OF RECORD 48 HOURS PRIOR TO ANY TEST PITS OR TELEVISION OF SEWER LINES.

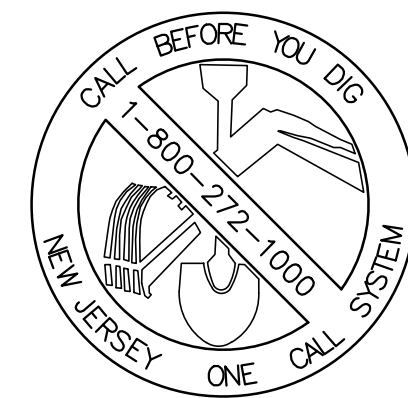
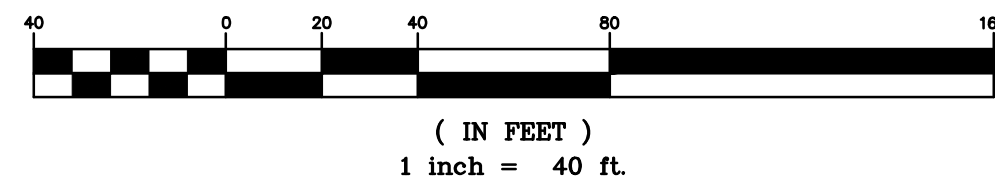
UTILITY DEMOLITION KEY NOTES

- REMOVE EXISTING STORM DRAINAGE STRUCTURE
- REMOVE EXISTING STORM DRAINAGE PIPE
- REMOVE/RELOCATE EXISTING SITE LIGHTING ELECTRICAL LINES
- RELOCATE/ROTATE EXISTING LIGHT STRUCTURE

REFERENCES

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GRAPHIC SCALE



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PROFESSIONAL IN CHARGE

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PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER

RICHARD PROCANIK

QUALITY CONTROL

RICHARD PROCANIK

DRAWN BY

THOMAS WIENCKOWSKI

PROJECT NAME

**111 IDEATION WAY
PARKING LOT**

NUTLEY

NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROOFE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER

20161711.0

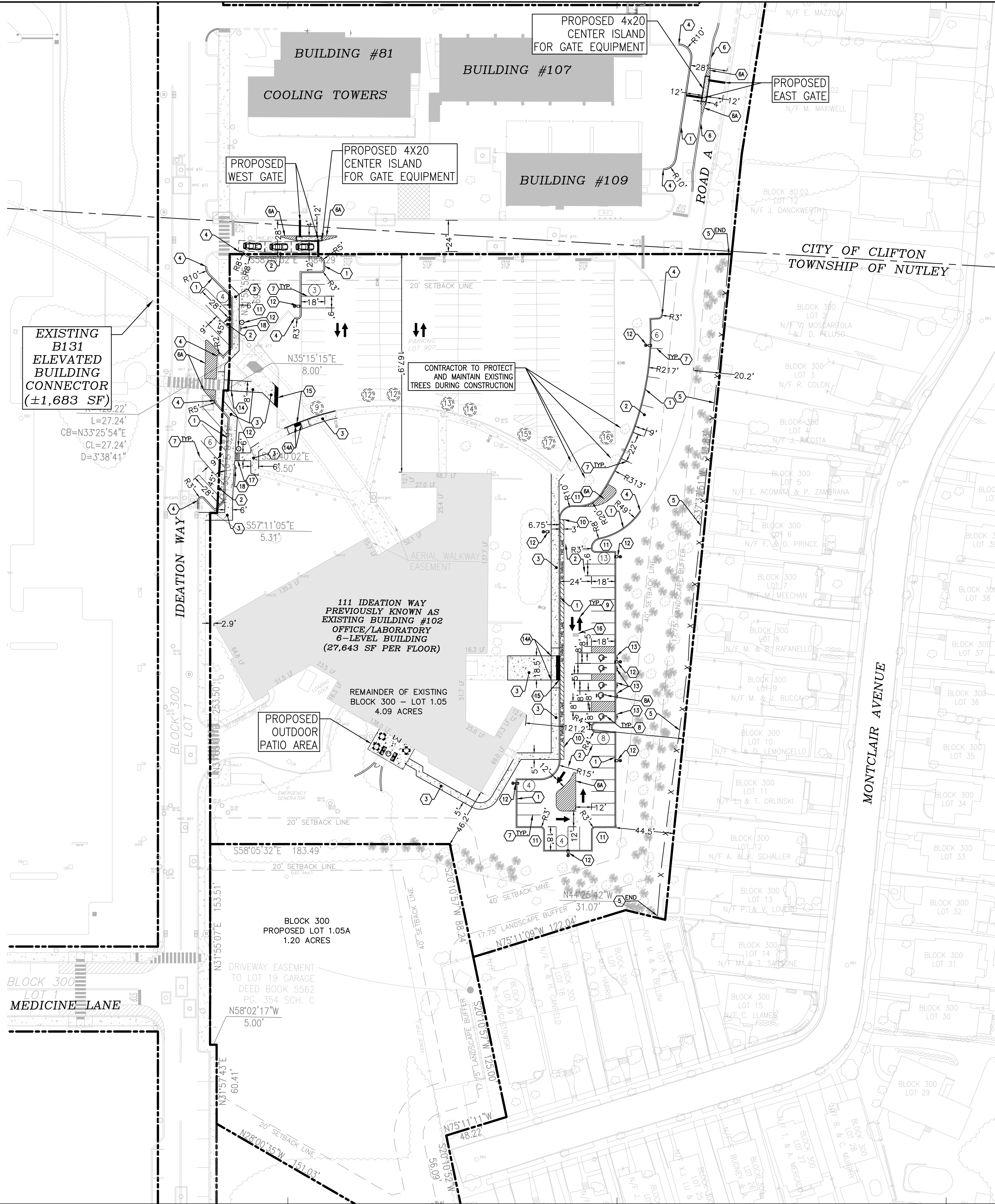
SHEET TITLE

**UTILITY
DEMOLITION
PLAN**

SHEET NUMBER

1.3

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LEGEND			
	PROPERTY LINE		PROPOSED CURB
	SETBACK LINE		PROPOSED FENCE
	EASEMENT LINE		PROPOSED CONCRETE SIDEWALK
	EXISTING CURB		PROPOSED ADA ACCESSIBLE PARKING
	EXISTING WALL		PROPOSED STRIPING
	EXISTING FENCE		NUMBER OF PARKING SPACES
	EXISTING GUIDE RAIL		PROPOSED SIGN
	EXISTING TREE		PROPOSED/RELOCATED SITE LIGHTING FIXTURE
	EXISTING TREE LINE		PROPOSED STORM DRAINAGE 'TYPE A' INLET STRUCTURE

SITE LAYOUT KEY NOTES

- PROPOSED CONCRETE CURB
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CURB TIE-IN LOCATION. CONNECTION TO BE SMOOTH AND EVEN
- PROPOSED 6' HIGH FENCE
- PROPOSED PAVEMENT MARKING - SOLID DOUBLE 4" YELLOW STRIPE
- PROPOSED PAVEMENT MARKING - SOLID 4" YELLOW STRIPES AT 3'-0" ON CENTER
- PROPOSED PAVEMENT MARKING - PARKING SPACE
- PROPOSED PAVEMENT MARKING - ADA ACCESSIBLE PARKING SPACE
- PROPOSED PAVEMENT MARKING - ADA VAN ACCESSIBLE PARKING SPACE
- PROPOSED PAVEMENT MARKING - DIRECTIONAL ARROWS
- PROPOSED PAVEMENT MARKING - NO PARKING - FIRE LANE
- PROPOSED LANDSCAPE AREA
- PROPOSED/RELOCATED SITE LIGHTING FIXTURE
- PROPOSED ADA PARKING SIGN
- PROPOSED NJDOT TYPE 5 ADA SIDEWALK RAMP
- PROPOSED NJDOT TYPE 7 ADA SIDEWALK RAMP
- PROPOSED FLUSH CURB
- PROPOSED STORM DRAINAGE TYPE 'A' INLET STRUCTURE
- PROPOSED (4) STAIRS WITH 6" RISERS
- PROPOSED "RESERVED PARKING FOR 111 IDEATION WAY" SIGN

SITE LAYOUT NOTES

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT THE ENGINEER SHALL BE NOTIFIED IN WRITING AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL ACCESSIBLE (ADA) SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE, AND LOCAL GUIDELINES.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEMS AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL ROADWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- NO HAZARDOUS WASTE GENERATED OFF-SITE MAY BE STORED ON THE SUBJECT SITE FOR ANY PERIOD OF TIME IN ACCORDANCE WITH SECTION 6.3(0)3 OF THE REDEVELOPMENT PLAN.
- CONTRACTOR TO REPLACE ANY CURBS, SIDEWALKS, LANDSCAPING, ETC. THAT IS DISTURBED DURING CONSTRUCTION OUTSIDE LIMITS OF DISTURBANCE.

PARKING CALCULATION

111 IDEATION WAY

EXISTING PARKING SPACES	120	STALLS
PROPOSED STANDARD PARKING SPACES	135	STALLS
PROPOSED PARALLEL PARKING SPACES	6	STALLS
PROPOSED ADA STANDARD ACCESSIBLE PARKING SPACES	4	STALLS
PROPOSED ADA VAN ACCESSIBLE PARKING SPACES	1	STALLS
TOTAL PROPOSED PARKING SPACES	146	STALLS

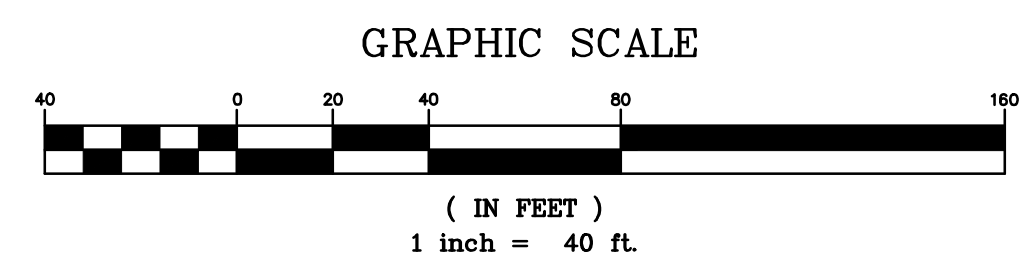
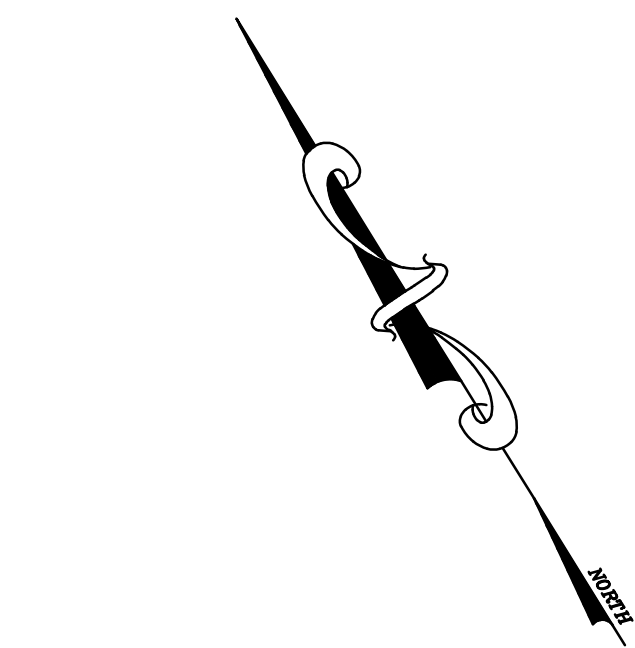
NET INCREASE OF 26 PARKING SPACES

IDEATION WAY STREET PARKING

EXISTING PARALLEL PARKING SPACES	7	STALLS
PROPOSED ANGLED PARKING SPACES	10	STALLS

NET INCREASE OF 3 PARKING SPACES

OVERALL NET INCREASE OF 29 PARKING SPACES



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PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

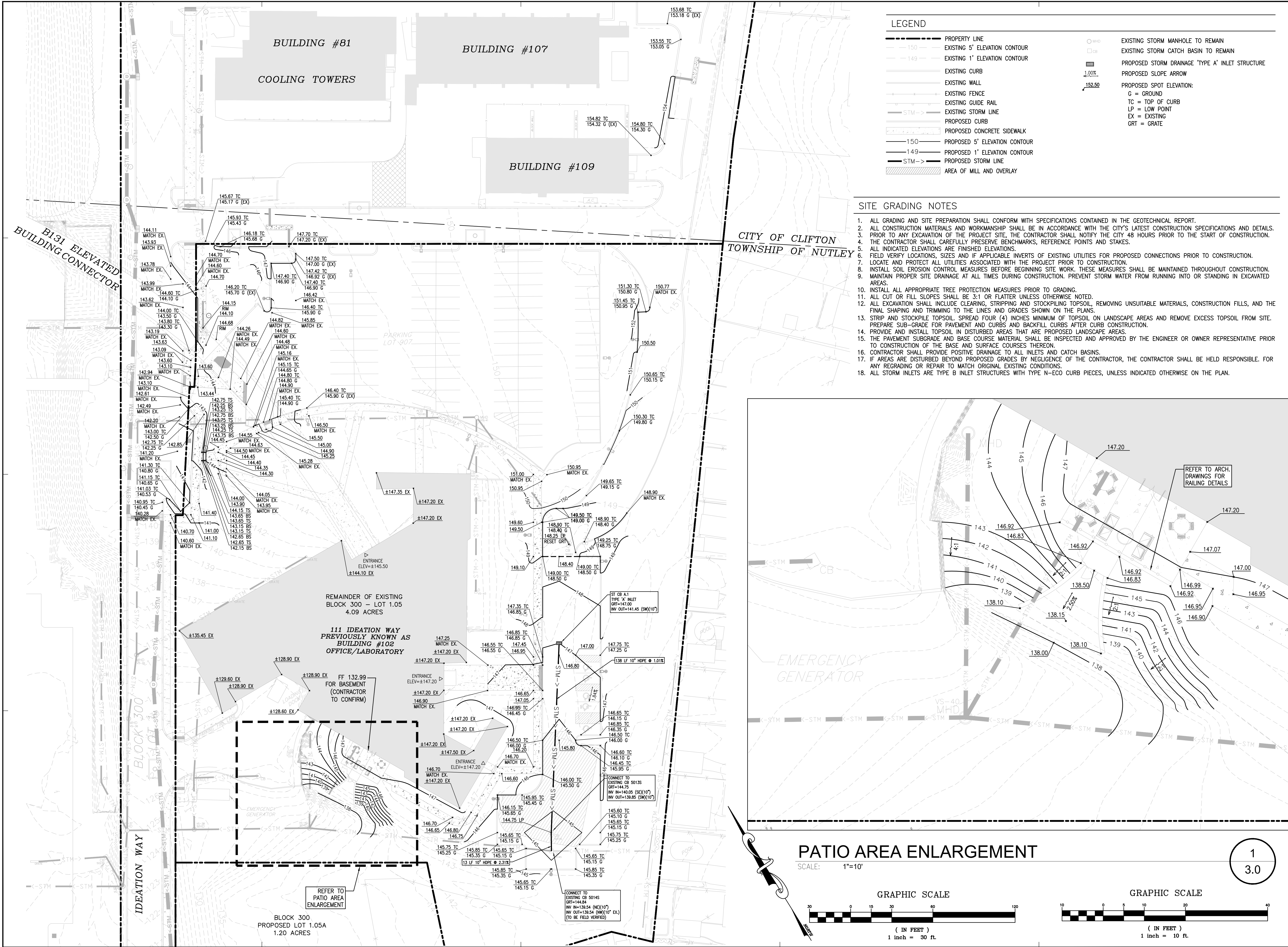
SHEET TITLE

LAYOUT
PLAN

SHEET NUMBER

2.0

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RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

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NUTLEY
NEW JERSEY

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PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROOFC
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

SHEET TITLE
GRADING AND
DRAINAGE PLAN

SHEET NUMBER
3.0

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**111 IDEATION WAY
PARKING LOT**

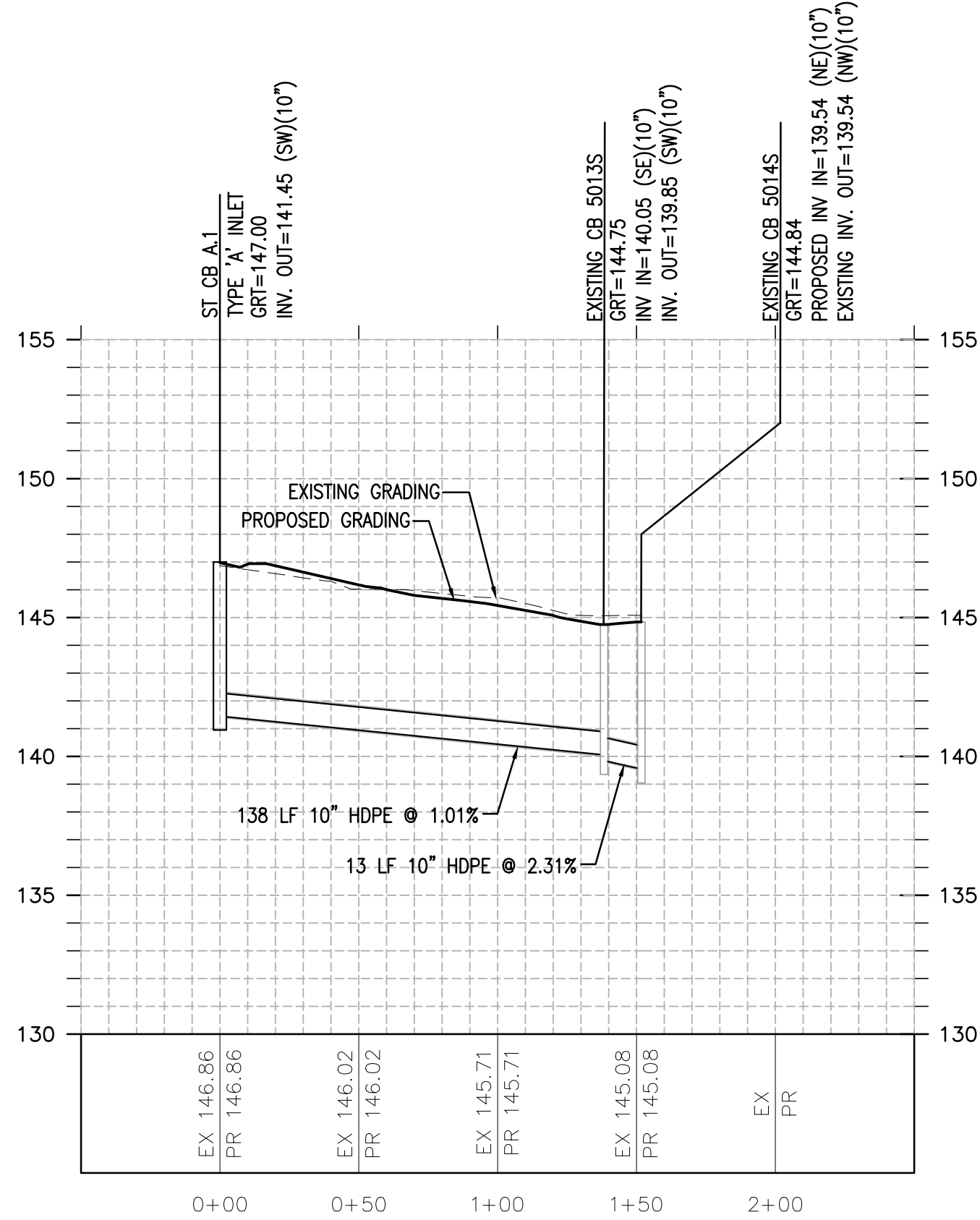
**NUTLEY
NEW JERSEY**

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
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ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

SHEET TITLE
**STORM DRAINAGE
PROFILES**

SHEET NUMBER
3.1



ST CB A.1 TO EXISTING CB 5014S

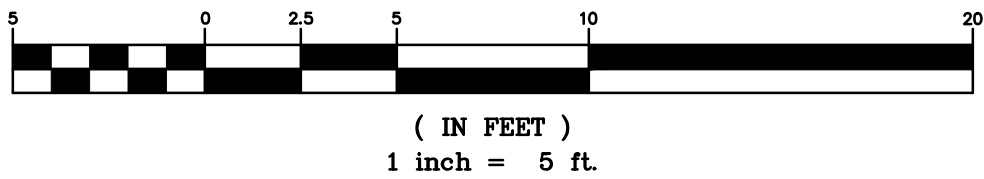
SCALE: HORIZONTAL: 1" = 50' VERTICAL: 1" = 5'

1
3.1

LEGEND:

- EXISTING GRADING
- PROPOSED GRADING

VERTICAL GRAPHIC SCALE



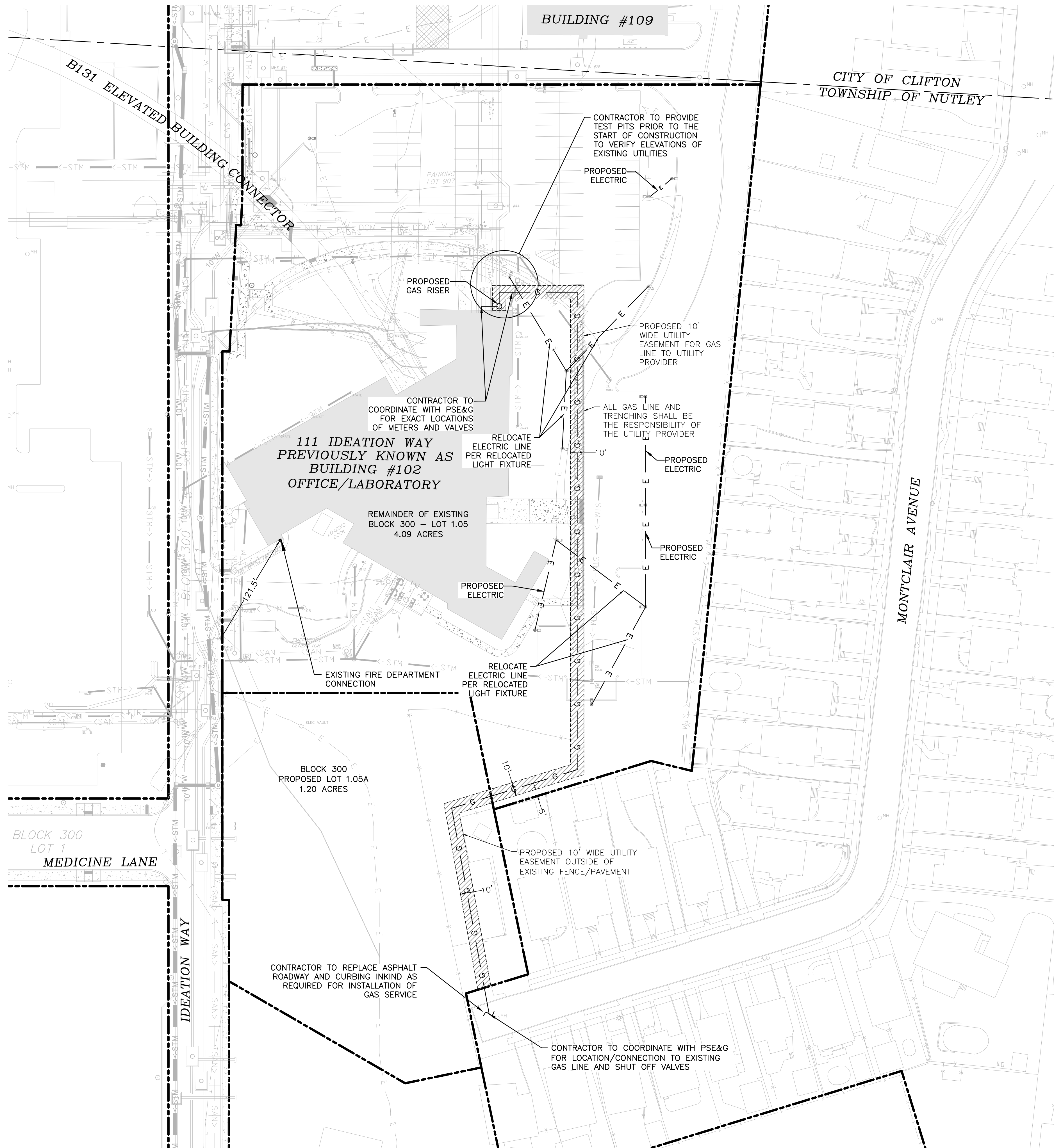
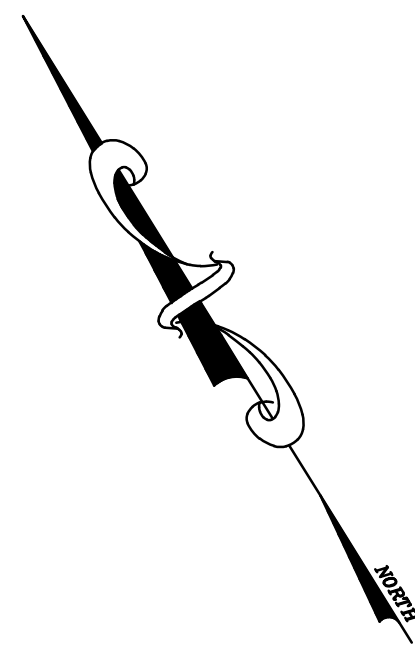
(IN FEET)
1 inch = 5 ft.

HORIZONTAL GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

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GENERAL GAS UTILITY NOTES

1. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF ANY UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, WATER MAINS, ELECTRICAL CONDUITS AND BUILDING UTILITIES WITHIN THE PATH OF THE PROPOSED GAS LINE.
3. THE CONTRACTOR IS TO COORDINATE WITH THE BUILDING PLANS TO ENSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
4. ALL SEWERS ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
5. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY THE CONTRACTOR.
6. THE CONTRACTOR IS TO COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO GOVERNING STATE AND/OR LOCAL SPECIFICATIONS.
8. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
9. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE TOWNSHIP OF NUTLEY SPECIFICATIONS.

LEGEND

---	PROPERTY LINE
— G —	PROPOSED GAS LINE
— E —	PROPOSED/RELOCATED ELECTRIC LINE
— STM —>	PROPOSED STORM LINE
— SAN —>	PROPOSED STORM DRAINAGE 'TYPE B' INLET STRUCTURE
— 10" W —	SITE LIGHT FIXTURE
— 10" W —	EXISTING STORM LINE
— 10" W —	EXISTING SANITARY LINE
— 10" W —	EXISTING ELECTRIC LINE
— 10" W —	EXISTING 10" WATER MAIN
— 10" W —	EXISTING DOMESTIC WATER LINE
— 10" W —	EXISTING FIRE LINE
— 10" W —	EXISTING UTILITY & STRUCTURE
— 10" W —	EXISTING STORM MANHOLE
— 10" W —	EXISTING SANITARY MANHOLE



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NEW JERSEY

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PROPOSED LOT 1.05A
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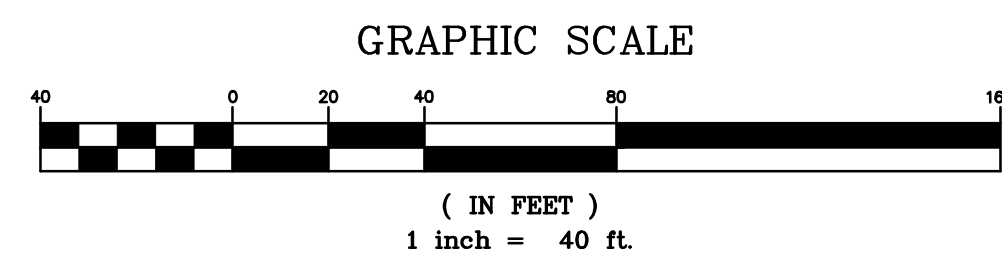
PROJECT NUMBER
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SHEET TITLE

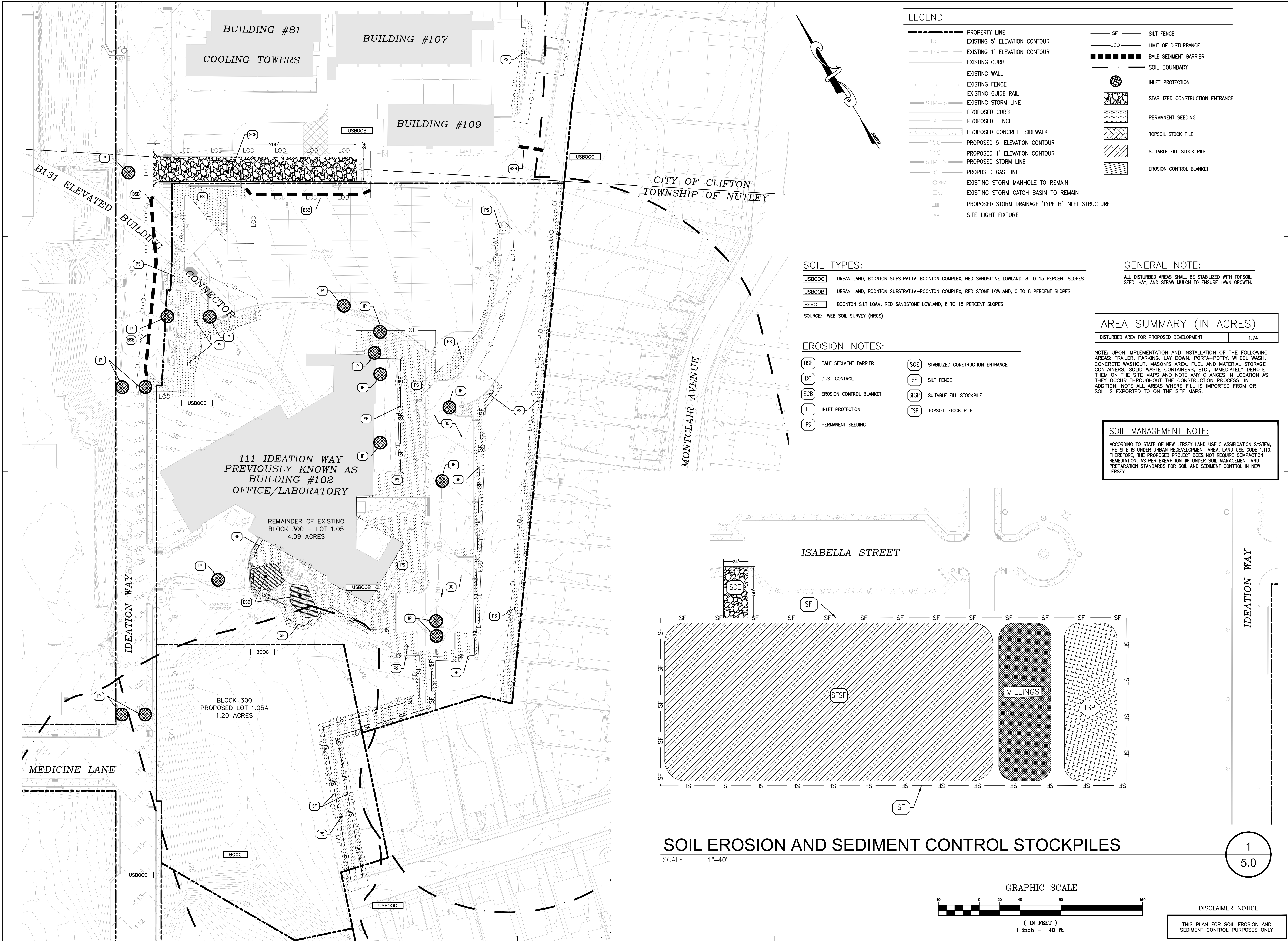
UTILITY
PLAN

SHEET NUMBER

4.0



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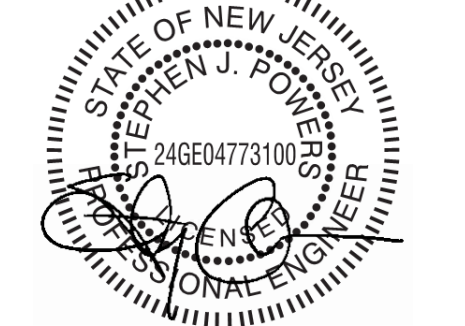


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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/2020	BID SET
07/21/2020	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY PARKING LOT

NUTLEY NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROCHE REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

SHEET TITLE
SOIL EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER
5.0

p:\2016\201617110\800 civil\current drawings\111 ideation way parking lot\current drawings\201617110 5.1-5.2 sedesc-n&d.dwg

STANDARD FOR LAND GRADING:

DEFINITION:
RESHAPING THE GROUND SURFACE BY GRADING TO PLANNED ELEVATIONS WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.

PURPOSE:
THE PRACTICE IS FOR ONE OR MORE OF THE FOLLOWING: PROVIDE MORE SUITABLE SITES FOR LAND DEVELOPMENT; IMPROVE SURFACE DRAINAGE AND CONTROL EROSION.

CONDITION WHERE PRACTICE APPLIES:
THIS PRACTICE IS APPLICABLE WHERE GRADING TO PLANNED ELEVATIONS IS PRACTICAL AND IT IS DETERMINED THAT GRADING IS NEEDED. GRADING THAT INVOLVES THE DISTURBANCE OF VEGETATION OVER LARGE AREAS SHALL BE AVOIDED. IT MAY BE NECESSARY TO PROVIDE FOR TEMPORARY STABILIZATION OF LARGE AREAS.

WATER QUALITY ENHANCEMENT:
PROPER GRADING OF DISTURBED SITES WILL PROTECT AGAINST SOIL LOSS FROM EROSION, ENHANCE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER AND HELP TO PROPERLY MANAGE STORMWATER RUNOFF ALL OF WHICH WILL REDUCE OFF SITE DISCHARGE OF POLLUTANTS.

PLANNING CRITERIA:
THE GRADING PLAN AND INSTALLATION SHALL BE BASED UPON ADEQUATE TOPOGRAPHIC SURVEYS AND INVESTIGATIONS. THE PLAN IS TO SHOW THE LOCATION, SLOPE, CUT, FILL AND FINISH ELEVATION OF THE SURFACES TO BE GRADED. THE PLAN SHOULD ALSO INCLUDE AUXILIARY PRACTICES FOR SAFE DISPOSAL OF RUNOFF WATER, SLOPE STABILIZATION, EROSION CONTROL AND DRAINAGE. FACILITIES SUCH AS WATERWAYS, DITCHES, DIVERSIONS, GRADE STABILIZATION STRUCTURES, RETAINING WALLS AND SUBSURFACE DRAINS SHOULD BE INCLUDED WHERE NECESSARY.

EROSION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE STANDARD CONTAINED HEREIN.

THE DEVELOPMENT AND ESTABLISHMENT OF THE PLAN SHALL INCLUDE THE FOLLOWING:

1. THE CUT FACE OF EARTH EXCAVATIONS AND FILLS SHALL BE NO STEEPER THAN THE SAFE ANGLE OF REPOSE FOR THE MATERIALS ENCOUNTERED AND FLAT ENOUGH FOR PROPER MAINTENANCE.
2. THE PERMANENTLY EXPOSED FACES OF EARTH CUTS AND FILLS SHALL BE VEGETATED OR OTHERWISE PROTECTED FROM EROSION.
3. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
4. SUBSURFACE DRAINAGE IS TO BE PROVIDED IN AREAS HAVING A HIGH WATER TABLE, TO INTERCEPT SEEPAGE THAT WOULD ADVERSELY AFFECT SLOPE STABILITY, BUILDING FOUNDATIONS OR CREATE UNDESIRABLE WETNESS. SEE STANDARD FOR SUBSURFACE DRAINAGE, PG 32-1 OF THE SESC MANUAL.
5. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
6. FILL SHALL NOT BE PLACED ADJACENT TO THE BANK OF A STREAM OR CHANNEL, UNLESS PROVISIONS ARE MADE TO PROTECT THE HYDRAULIC, BIOLOGICAL, AESTHETIC AND OTHER ENVIRONMENTAL FUNCTIONS OF THE STREAM.

INSTALLATION REQUIREMENTS:
TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF ACCORDING TO THE PLAN.

TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS REQUIRING TOPSOIL. SEE STANDARD FOR TOPSOILING, PG. 8-1 OF THE SESC MANUAL.

FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.

ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESSIVE SATURATION.

ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION. SEE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1 OF THE SESC MANUAL.

TREES TO BE RETAINED SHALL BE PROTECTED IF NECESSARY IN ACCORDANCE WITH THE STANDARD FOR TREE PROTECTION DURING CONSTRUCTION, PG 9-1 OF THE SESC MANUAL.

SOIL COMPACTION RESULTING FROM LAND GRADING ACTIVITIES CAN IMPACT THE INFILTRATION RATE OF THE SOIL. RESTORATION OF COMPACTED SOILS THROUGH DEEP TILLAGE (6" TO 12") AND THE ADDITION OF ORGANIC MATTER MAY BE REQUIRED IN PLANNED PEROUS AREAS TO ENHANCE THE INFILTRATION RATE OF THE DISTURBED SOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.)

STANDARD FOR DUST CONTROL:

DEFINITION:
THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE:
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES:
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT:
SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

- PLANNING CRITERIA:**
THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES
 - VEGETATIVE COVER
 - SPRAY-ON ADHESIVES – ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS			
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) – SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS.		
POLYACRYLAMIDE (PAM) – DRY SPREAD			
RESIN IN WATER	NONE	COARSE SPRAY	1200

TILLAGE:
TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING:
SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS:
SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE:
SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE:
COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION:

DEFINITION:
ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO 6 MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS.

PURPOSE:
TO TEMPORARILY STABILIZE THE SOIL AND REDUCE DAMAGE FROM WIND AND WATER EROSION UNTIL PERMANENT STABILIZATION IS ACCOMPLISHED.

WATER QUALITY ENHANCEMENT:
PROVIDES TEMPORARY PROTECTION AGAINST THE IMPACTS OF WIND AND RAIN, SLOWS THE OVER LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE:
ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

- STANDARD FOR TEMPORARY STABILIZATION WITH MULCH**
- A. MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING. IN ADDITION, STABILIZATION WITH MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
- B. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
- C. PROTECTIVE MATERIALS TO BE USED:
- C.A. UNROTTED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS PER ACRE SPREAD UNIFORMLY AT 135 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID MULCH BINDER OR: WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- C.B. LIQUID MULCH BINDERS: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. IF EMULSIFIED ASPHALT – (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2), APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON FLAT SLOPES LESS THAN 8' HIGH. ON SLOPES 8' OR MORE HIGH USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE.

- STANDARD FOR TEMPORARY STABILIZATION WITH SEED**
- SITE PREPARATION:**
- A. APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE
- B. FERTILIZER AT THE RATE OF 50-50-50 PER ACRE
- C. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES.

- TEMPORARY SEEDING:**
- A. SECURE A SOIL TEST BEFORE MAKING A PERMANENT SEEDING.
- B. APPLY TEMPORARY SEEDING: WINTER RYE, SHALL BE APPLIED AT A RATE OF 168 LB/ACRE (56% PL5)
- C. AFTER SEEDING, MULCH WITH HAY OR STRAW (SEE MULCH SPECIFICATIONS) AT A RATE OF 3 TONS PER ACRE

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:

DEFINITION:
ESTABLISHMENT OF PERMANENT VEGETATIVE COVER ON EXPOSED SOILS WHERE PERENNIAL VEGETATION IS NEEDED FOR LONG-TERM PROTECTION.

PURPOSE:
TO PERMANENTLY STABILIZE THE SOIL, ENSURING CONSERVATION OF SOIL AND WATER, AND TO ENHANCE THE ENVIRONMENT.

WATER QUALITY ENHANCEMENT:
SLOWS THE OVER-LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE:
ON EXPOSED SOILS THAT HAVE A POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

- SITE PREPARATION:**
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURES OR APPROVED EQUAL- SEEDING IS NOT PERMITTED BETWEEN OCTOBER 2ND AND MARCH 14TH.

KENTUCKY BLUE GRASS- 1.0 LBS/1,000 S.F.

TURF-TYPE TALL FESCUE- 5.0 LBS/1,000 S.F.

MULCHING:
MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

SEQUENCE OF CONSTRUCTION:

THERE SHALL BE AN ON-SITE PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE COUNTY CONSERVATION DISTRICT, CONTRACTOR, AND THE CIVIL ENGINEER. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT IN WRITING AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE/DEMOLITION WORK. THE LIMIT OF DISTURBANCE SHALL BE STAKED AND DELINEATED PRIOR TO ANY EARTH DISTURBANCE.

(DEMOLITION):

DURATION: 6 MONTHS

CONSTRUCTION SEQUENCE:

1. INSTALL STABILIZED CONSTRUCTION EXIT(S).
2. INSTALL SILT FENCE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
3. INSTALL APPROPRIATE INLET PROTECTION DEVICES PERTINENT TO THE CURRENT LIMITS OF CONSTRUCTION.
3. BEGIN SELECTED DEMOLITION OF EXISTING UTILITIES, AND ANY CURBING/PAVEMENT. LIMIT COMPLETE REMOVAL OF EXISTING EARTH COVER (ASPHALT, ROAD BASE, VEGETATION) TO THE MAXIMUM EXTENT POSSIBLE.
4. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
5. INSTALL AND STABILIZE STORMWATER PIPE NETWORK.
6. INSTALL APPROPRIATE INLET PROTECTION MEASURES AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED. INLET PROTECTION MEASURES ARE TO BE MODIFIED AS NECESSARY TO MATCH CHANGES IN SITE CONDITIONS DURING CONSTRUCTION.
7. BEGIN CLEARING AND GRUBBING THE SITE IN THOSE AREAS PERTINENT TO THE CURRENT LIMITS OF CONSTRUCTION. CLEAR ONLY THOSE AREAS NECESSARY TO ESTABLISH THE PROPOSED FINISHED GRADE AND CONSTRUCT THE PROPOSED IMPROVEMENTS WITHIN THE CURRENT LIMITS OF DISTURBANCE.
8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
9. BEGIN GRADING THE SITE WITHIN THE CURRENT LIMITS OF DISTURBANCE. ALL AREAS AT FINAL GRADE MUST BE PERMANENTLY STABILIZED IMMEDIATELY AFTER COMPLETION OF WORK IN THAT AREA.
10. PAVE ROADWAYS.
11. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
12. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE GENERAL CONTRACTOR IS TO CONTACT A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT SCHEDULE A SITE INSPECTION PRIOR TO REMOVAL OF THE EROSION AND SEDIMENTATION CONTROL BMP'S.
13. OBTAIN CONCURRENCE WITH THE LOCAL CONSERVATION DISTRICT THAT FINAL SITE STABILIZATION HAS BEEN ACHIEVED.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
15. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF EROSION AND SEDIMENT CONTROL DEVICES.
16. CONTACT THE LOCAL CONSERVATION DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES.
17. A DISTRICT ISSUED REPORT-OF-COMPLIANCE MUST BE OBTAINED PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ – DCA OR ANY OTHER CONTROLLING AGENCY. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.

SEDIMENT AND EROSION CONTROL (HUDSON-ESSEX-PASSAIC COUNTY) NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED JANUARY 2014. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCSD: SPRING – 3/1-5/15 AND FALL – 8/15 – 10/1
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX – (862) 333-4507 OR EMAIL – INFORMATION@HEPCSD.ORG
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ – DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 ½ –1"CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.



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07/21/2020	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROOFE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

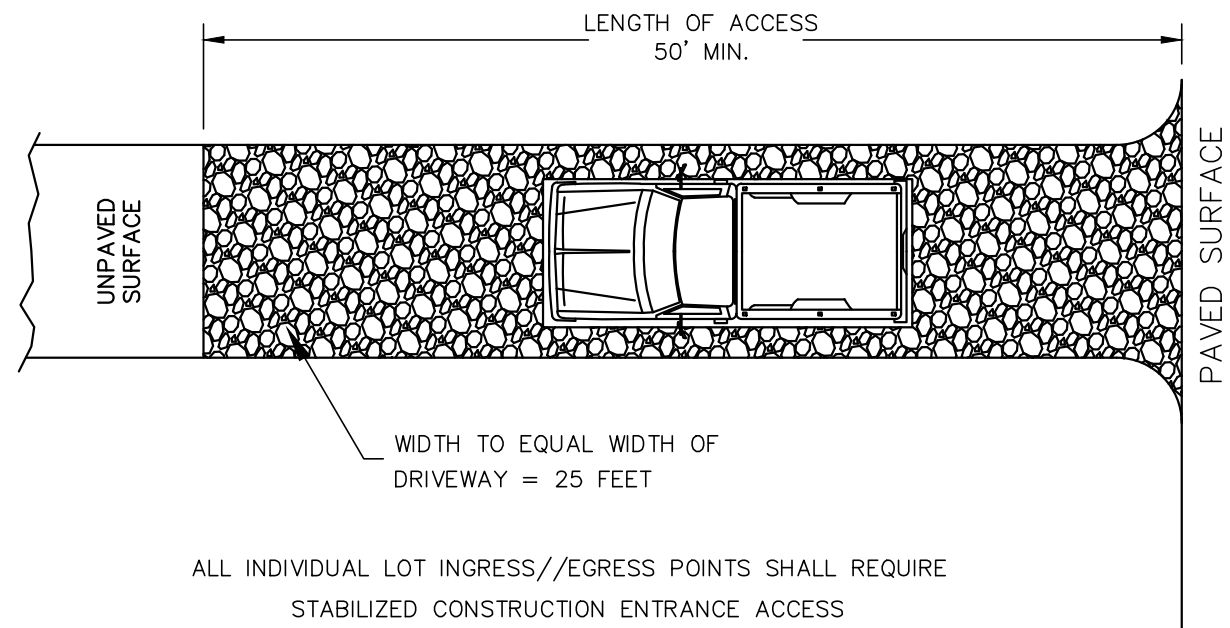
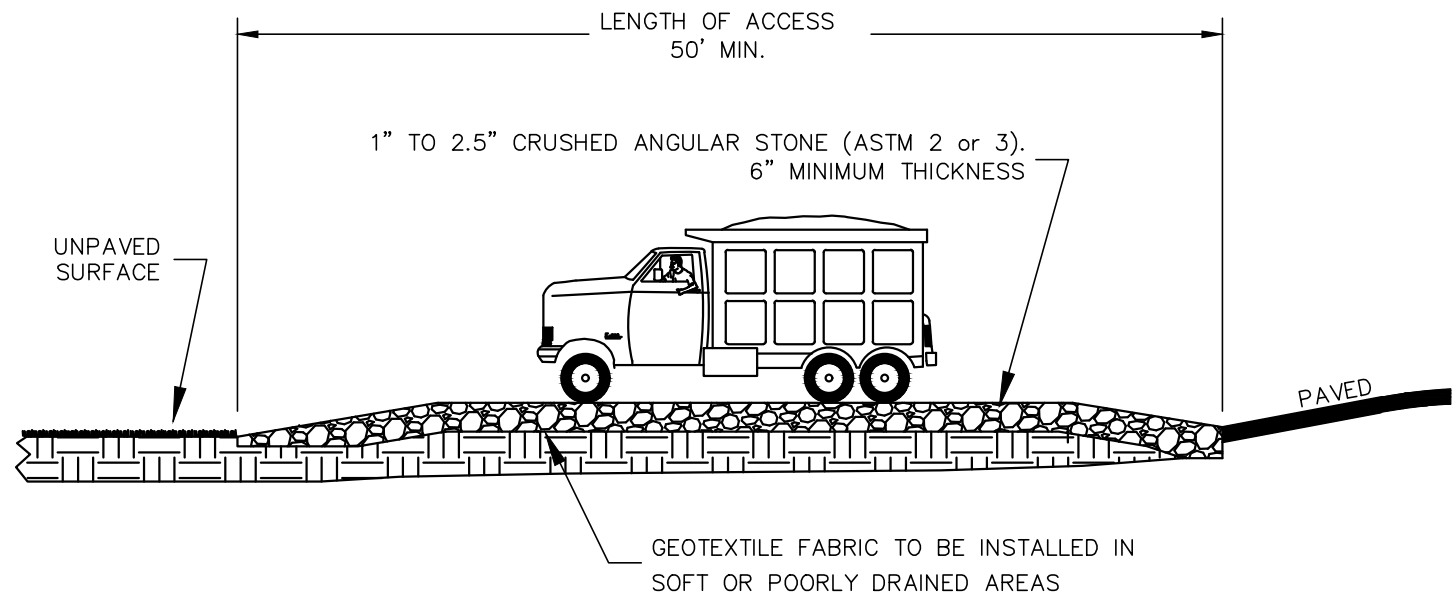
SHEET TITLE

SOIL EROSION AND
SEDIMENT CONTROL
NOTES

SHEET NUMBER

5.1

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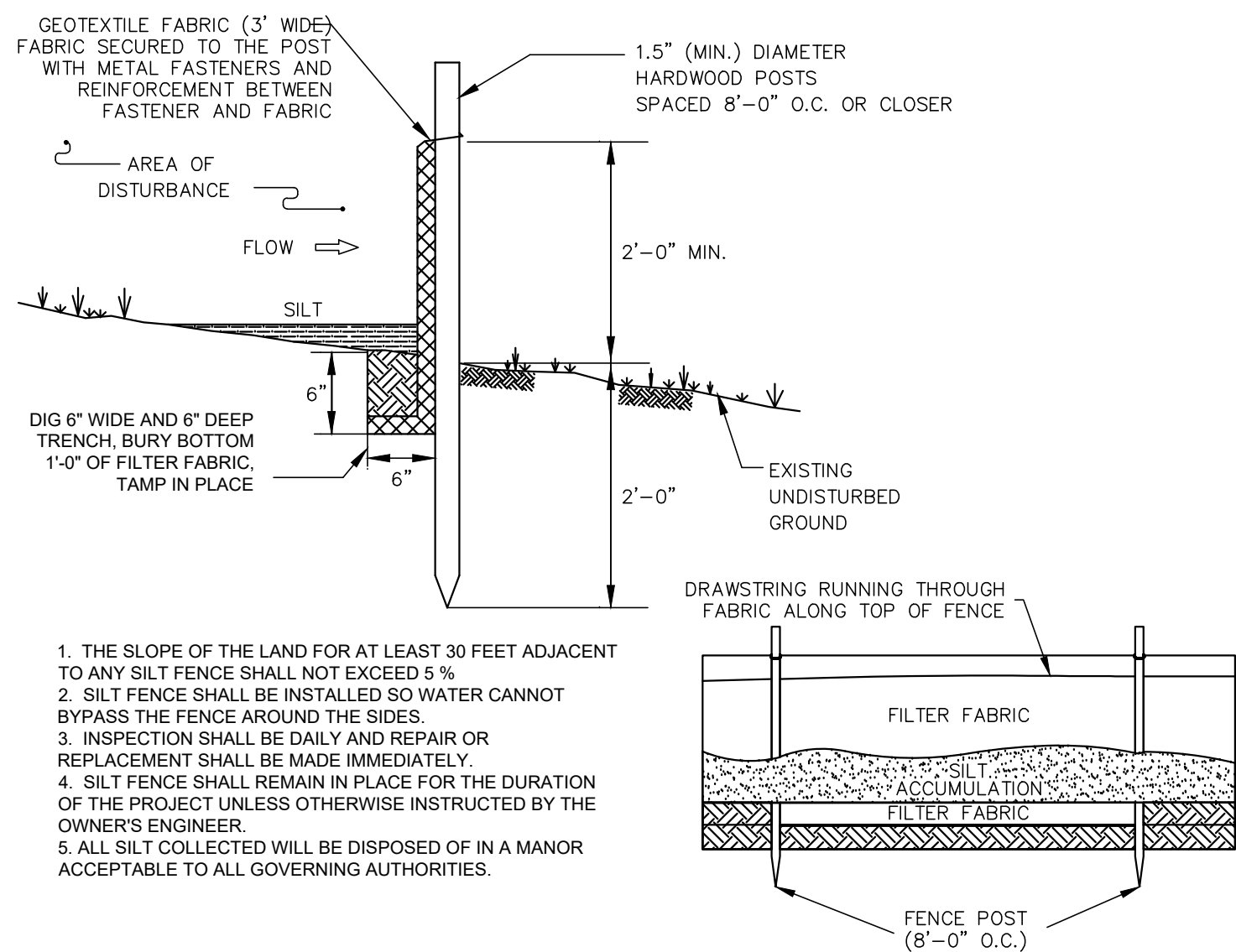


STABILIZED CONSTRUCTION ENTRANCE DETAIL

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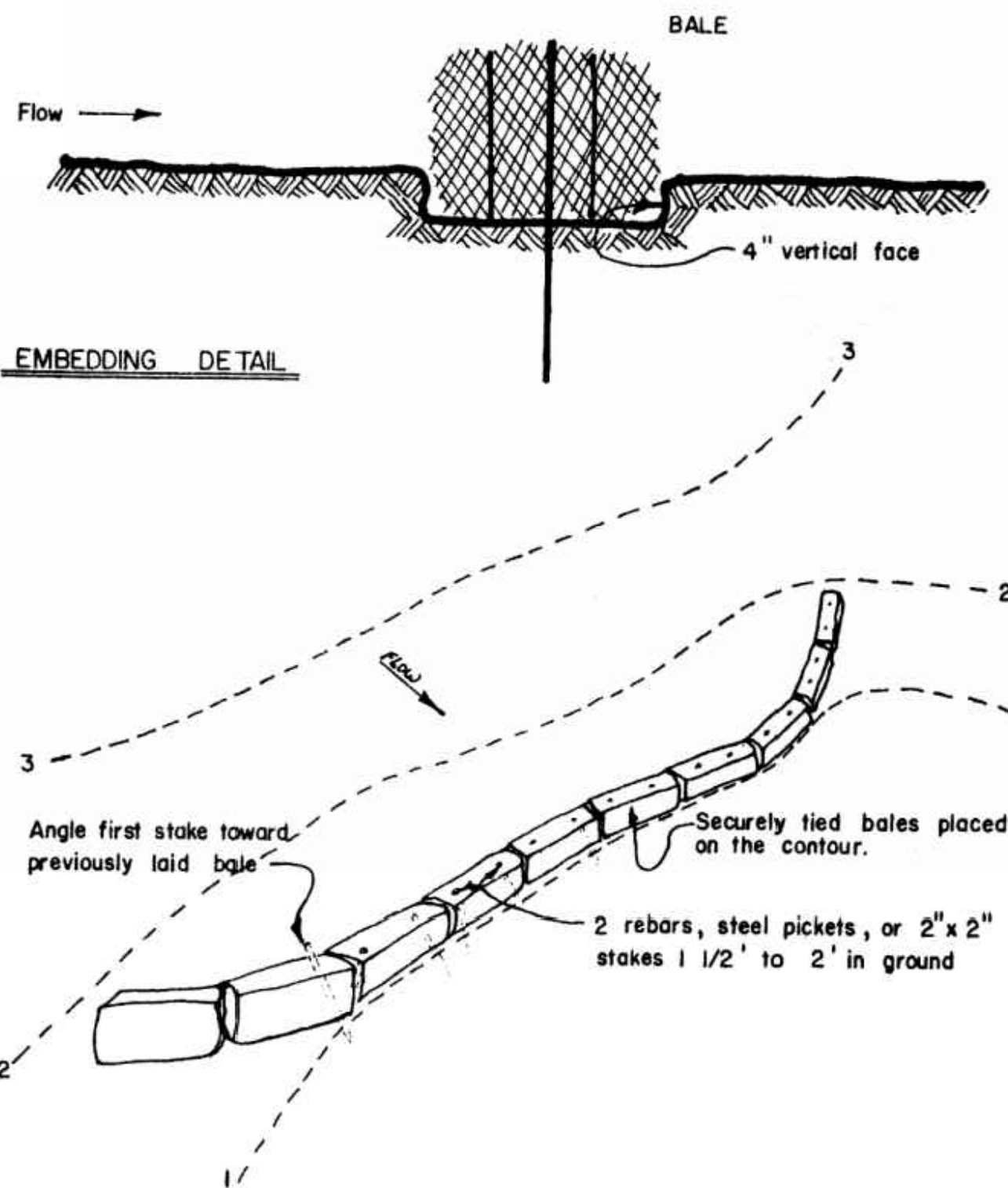


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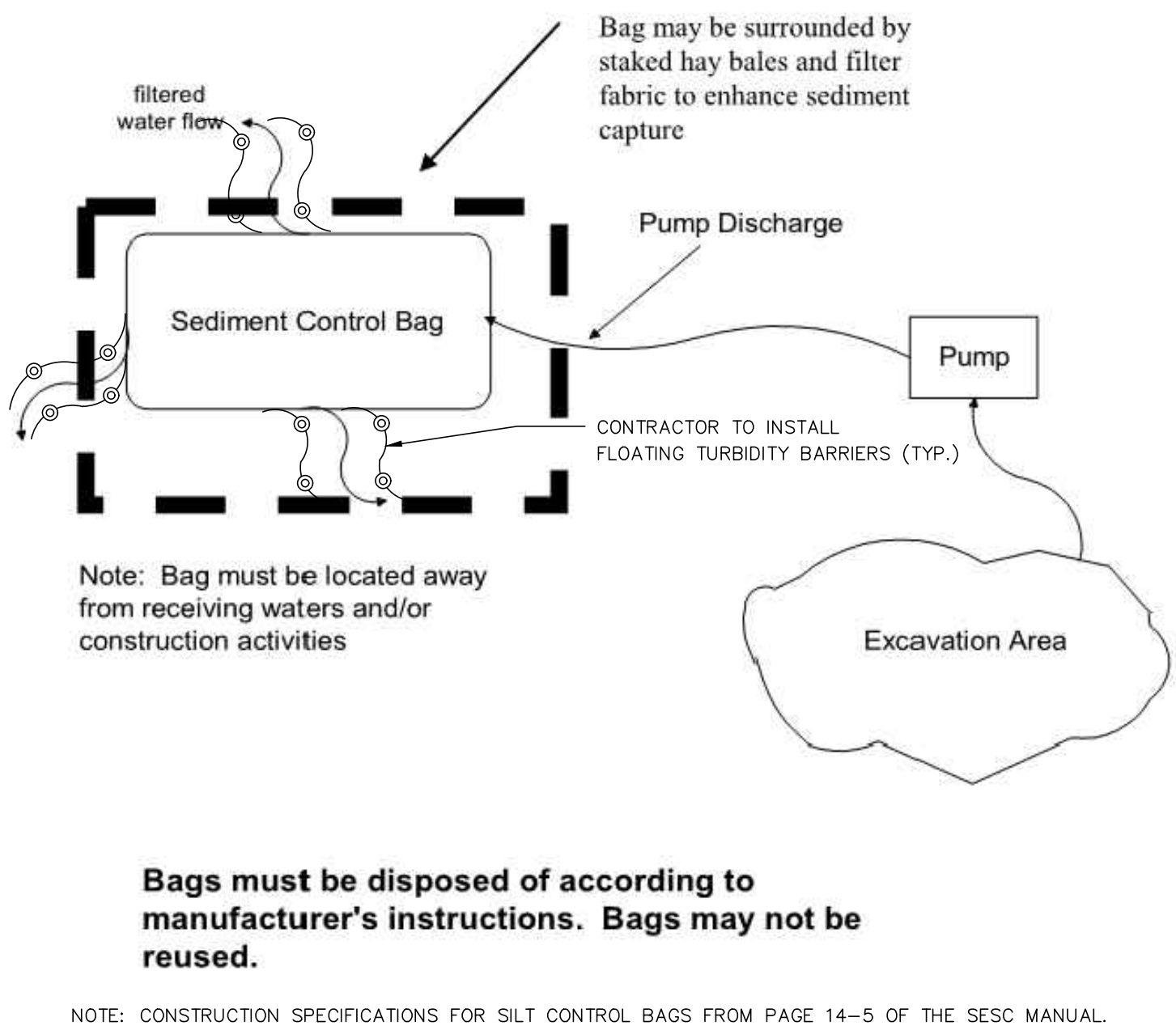


BALE SEDIMENT BARRIER DETAIL

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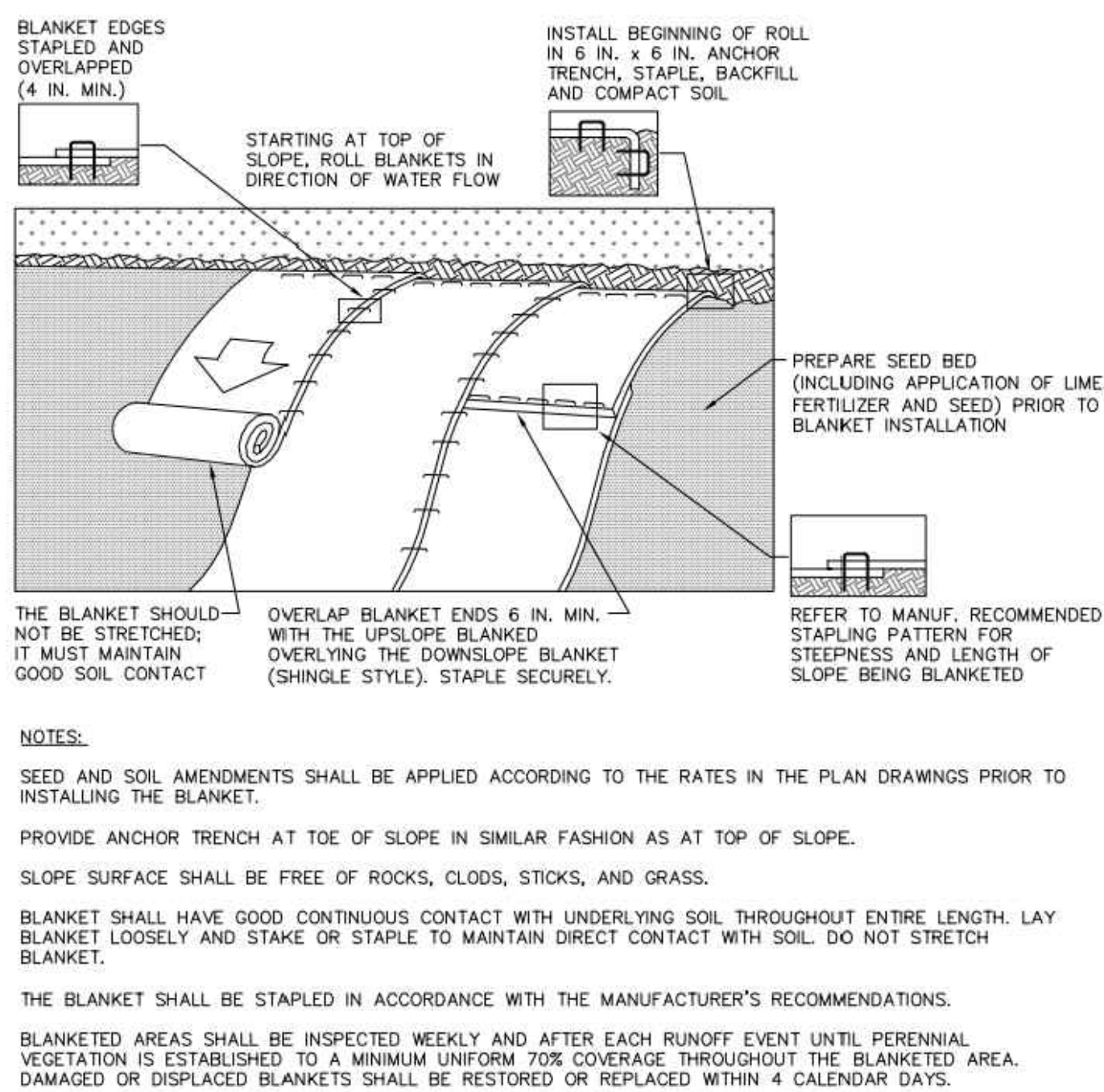


SEDIMENT CONTROL BAG FOR DEWATERING

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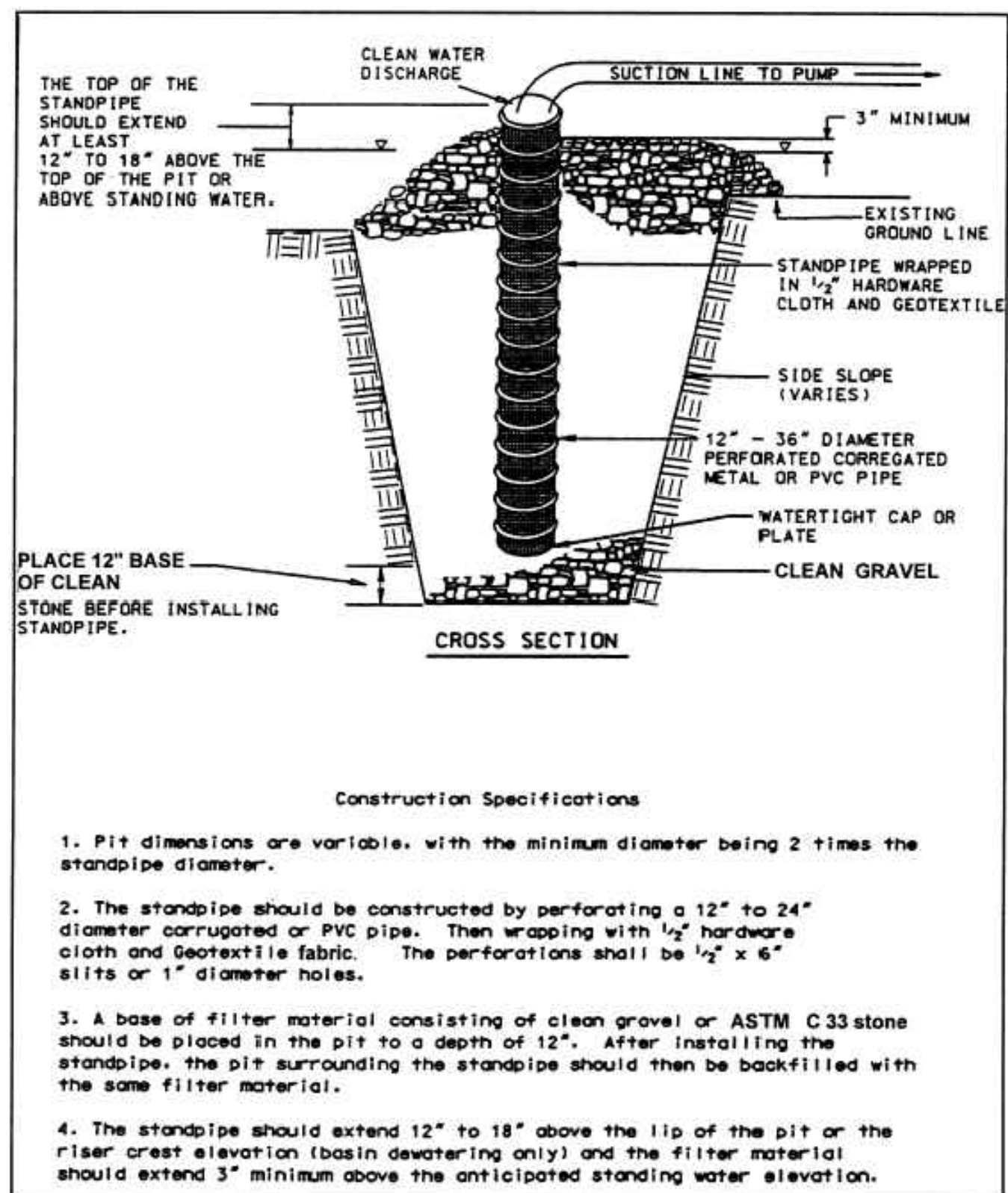


EROSION CONTROL BLANKET DETAIL

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Scale= NTS

5.2



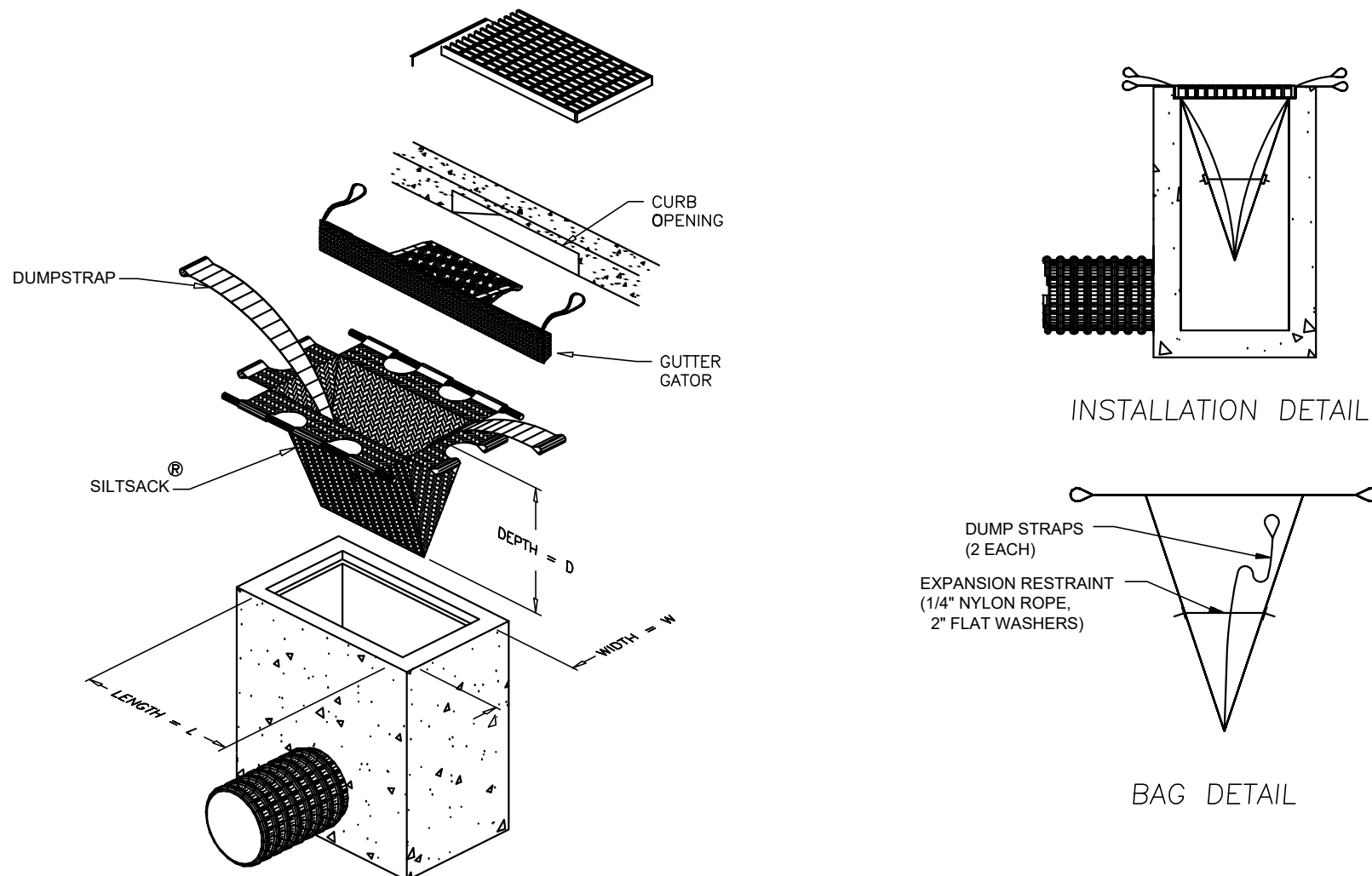
SUMP PIT DETAIL

6

Scale= NTS

5.2

- NOTES:
1. INLET FILTER SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
 2. INSPECTION SHALL BE DAILY AND REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
 3. INLET FILTER SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE OWNER'S ENGINEER.
 4. ALL SILT COLLECTED WILL BE DISPOSED OF IN A MANNER ACCEPTABLE TO ALL GOVERNING AUTHORITIES.

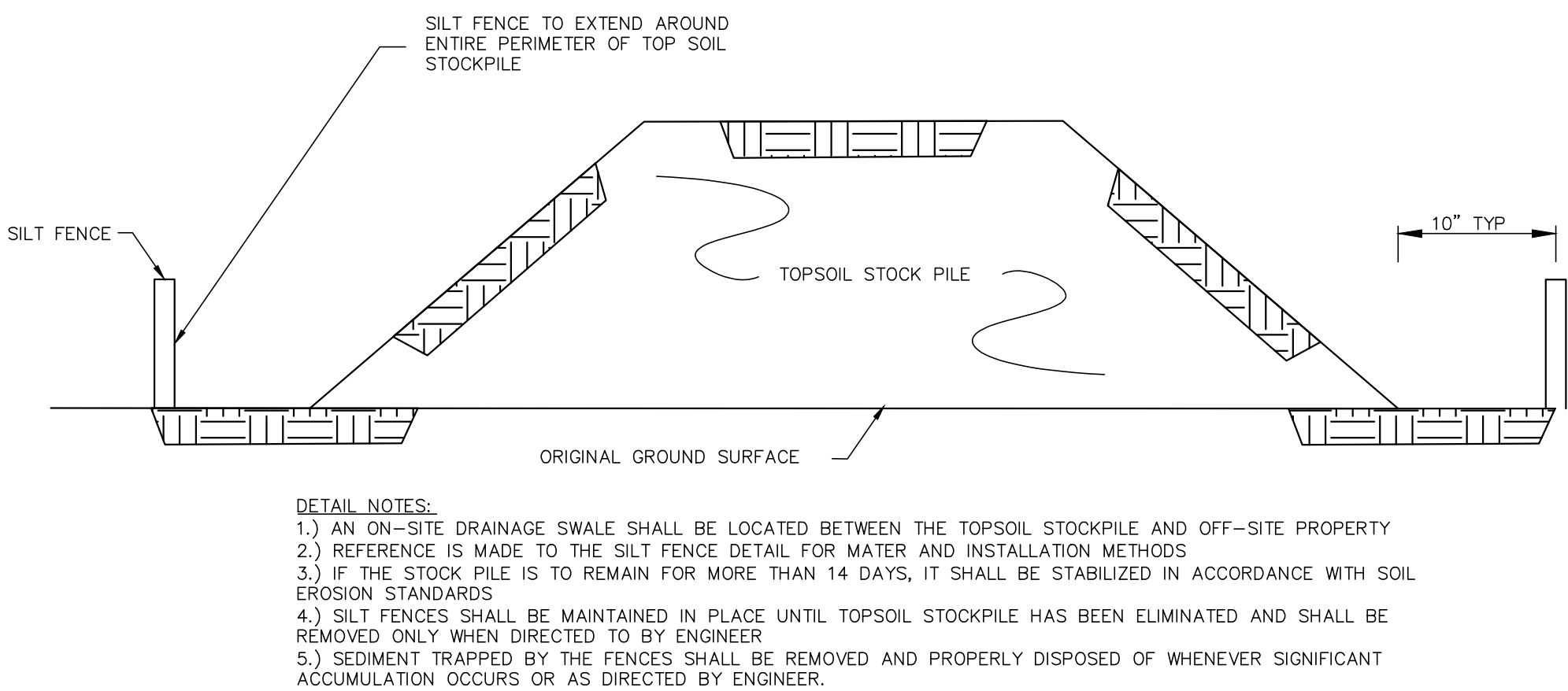


SILT SACK INLET PROTECTION DETAIL

7

Scale= NTS

5.2



TOPSOIL STOCKPILE DETAIL

8

Scale= NTS

5.2

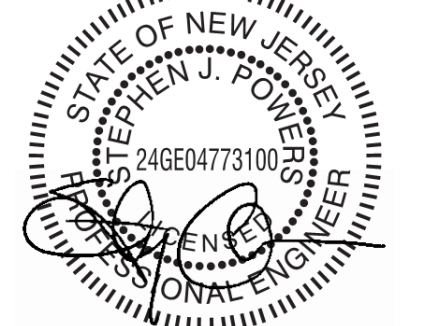


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PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK
QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
**111 IDEATION WAY
PARKING LOT**

**NUTLEY
NEW JERSEY**

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROOPE REDEVELOPMENT
PLAN PHASE IIA

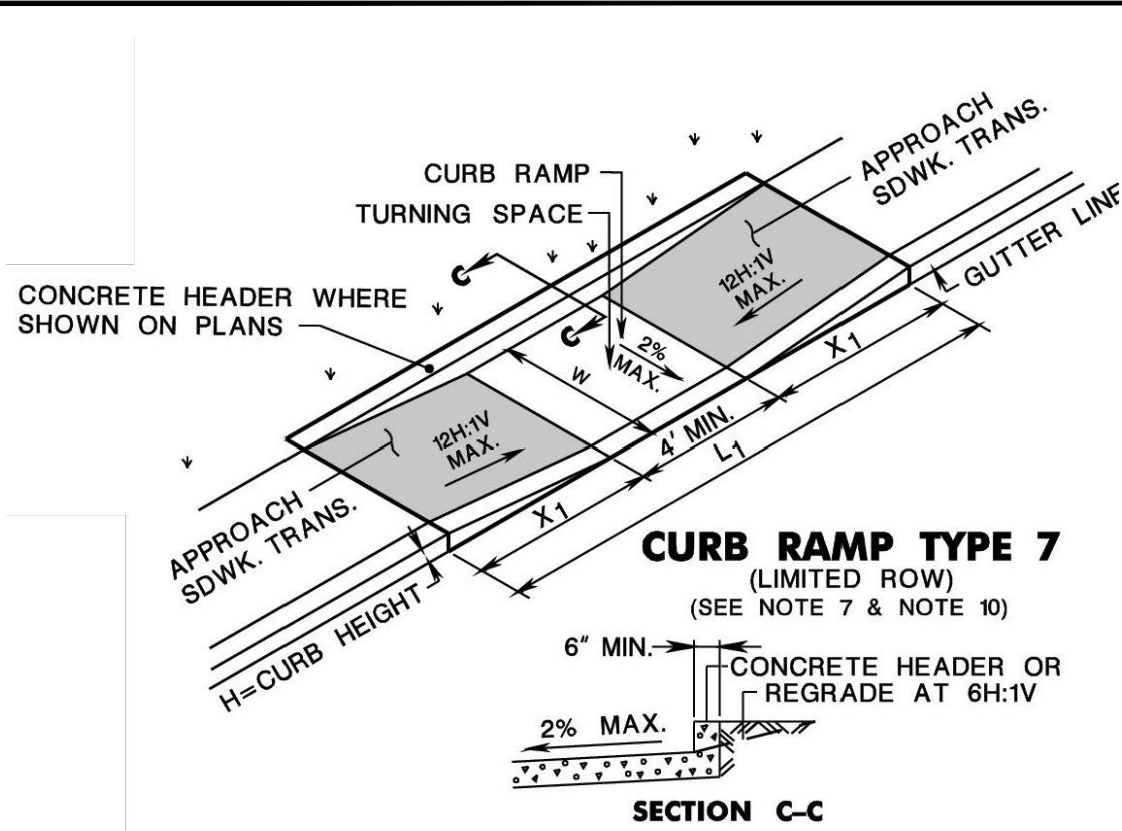
PROJECT NUMBER
20161711.0

SHEET TITLE
**SOIL EROSION AND
SEDIMENT CONTROL
DETAILS**

SHEET NUMBER

5.2

p:\2016\20161710\800 civil\current drawings\111 ideation way parking lot\current drawings\20161710 6.0 - 6.2 cd.dwg

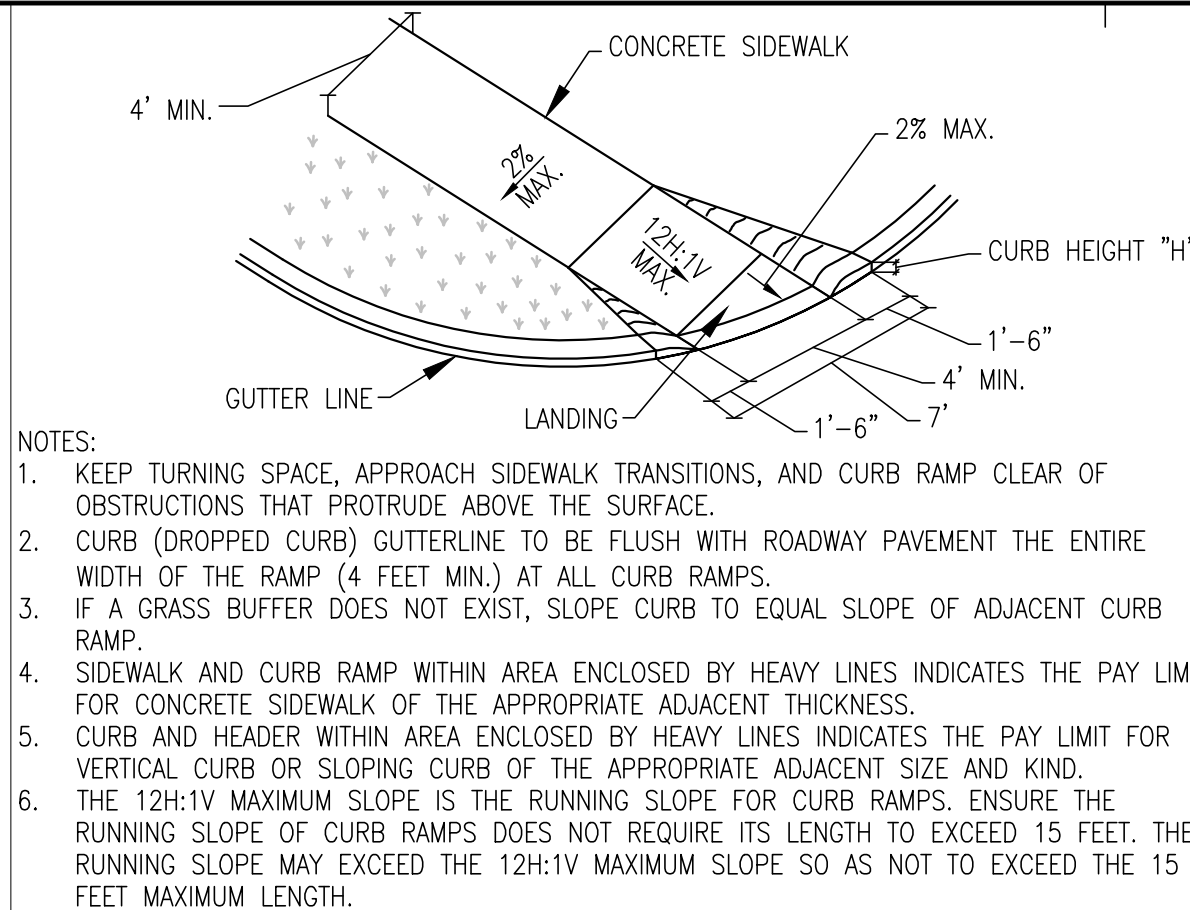


ADA CURB RAMP (NJDOT TYPE 7)

Scale= NTS

1

6.0



ADA CURB RAMP (NJDOT TYPE 5)

Scale= NTS

2

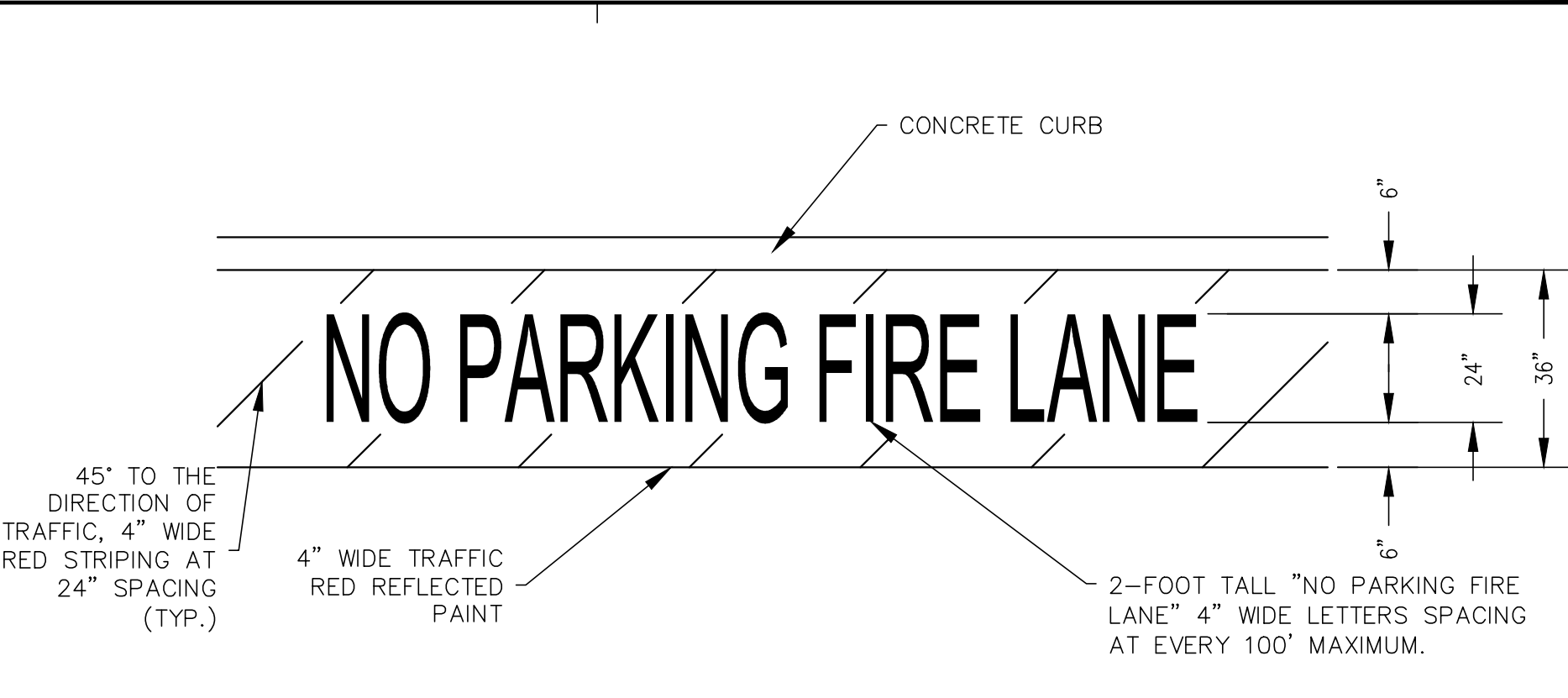
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DIAGONAL STRIPING

Scale= NTS

3

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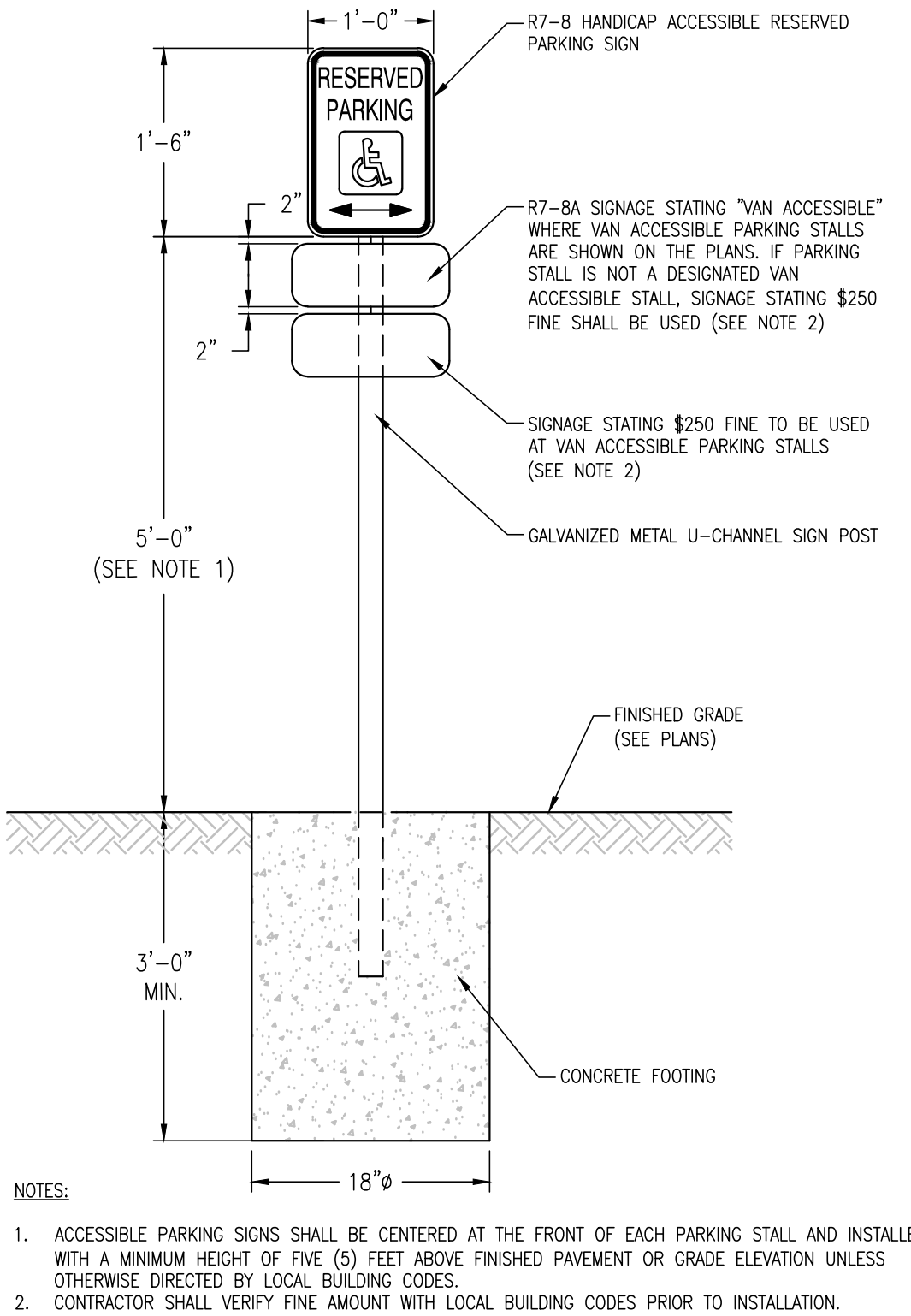


FIRE LANE PAVEMENT STRIPING

Scale= NTS

4

6.0

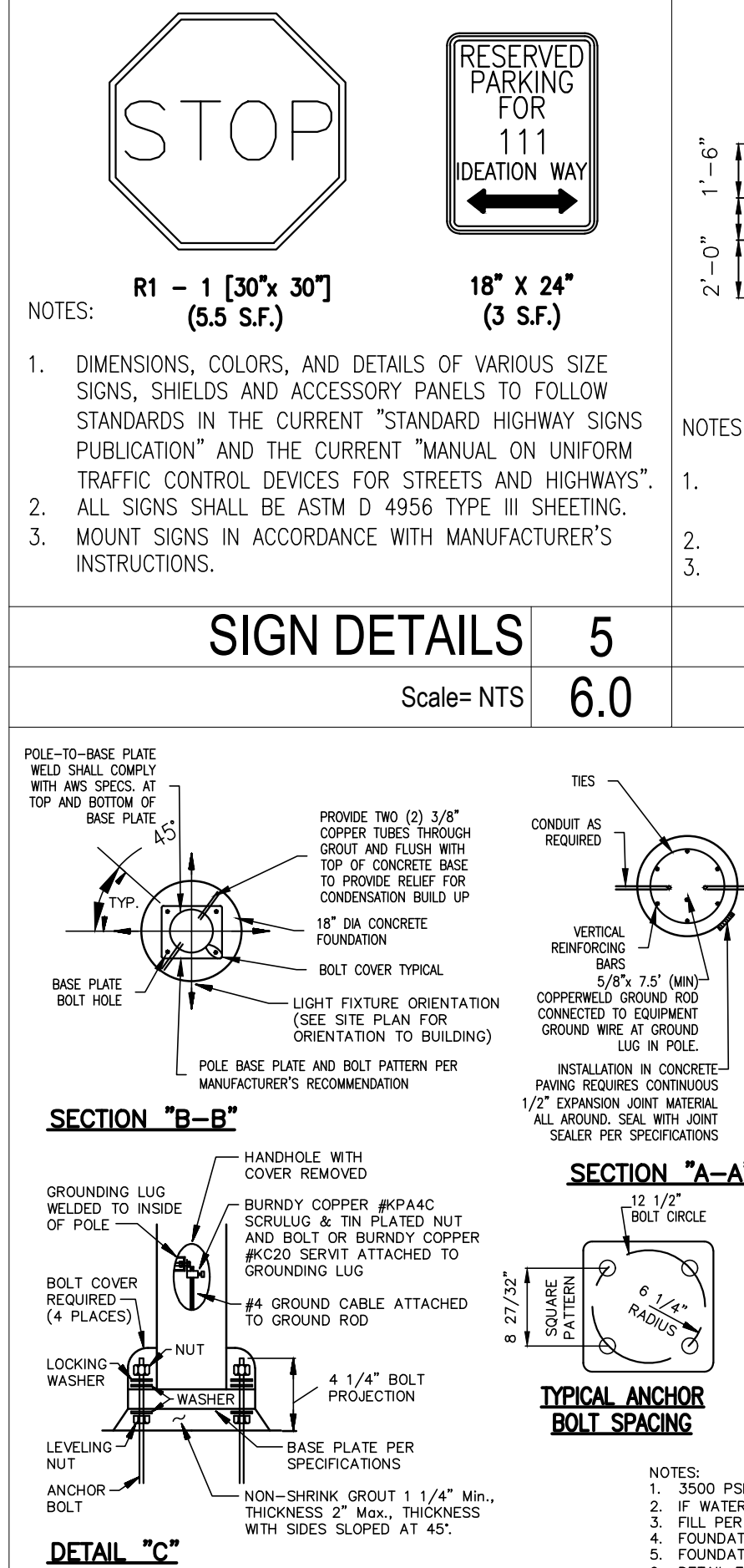


ADA ACCESSIBLE PARKING SIGN DETAIL

Scale= NTS

9

6.0

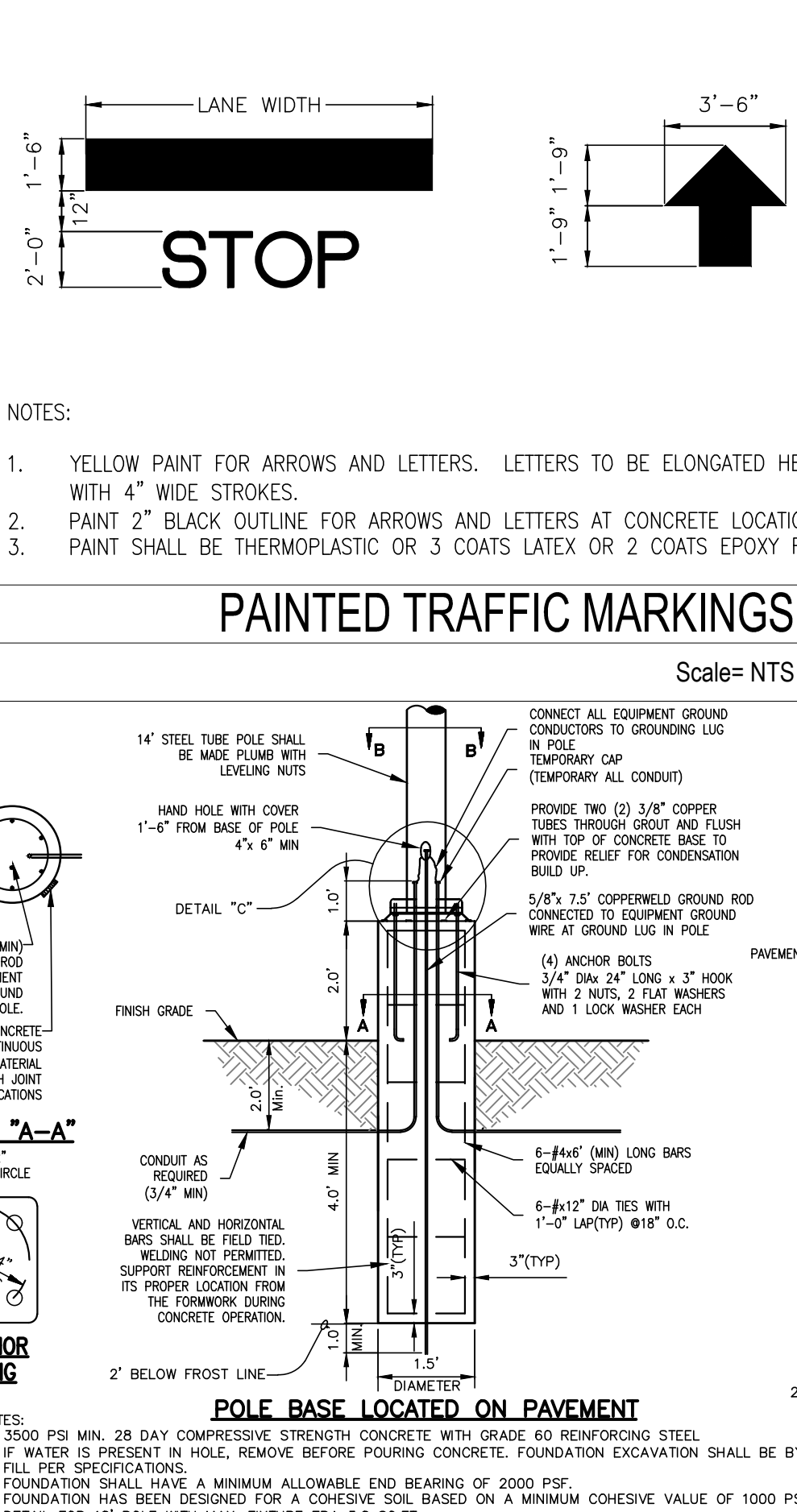


PAINTED TRAFFIC MARKINGS

Scale= NTS

6

6.0

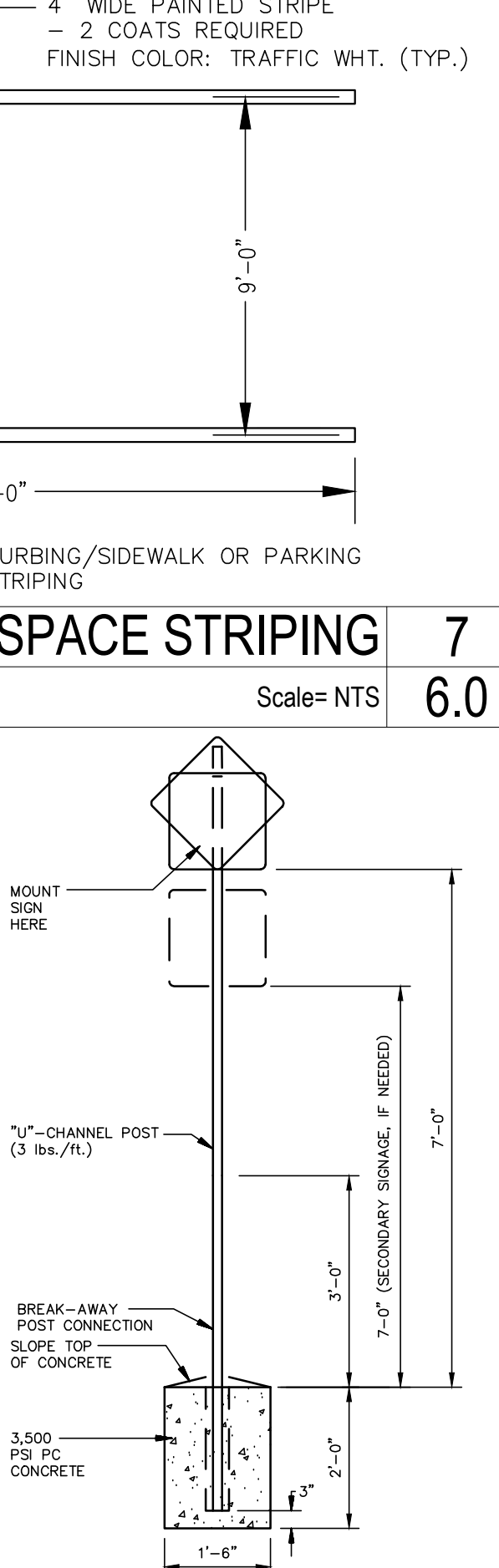


TYPICAL LIGHTING POLE BASE

Scale= NTS

10

6.0

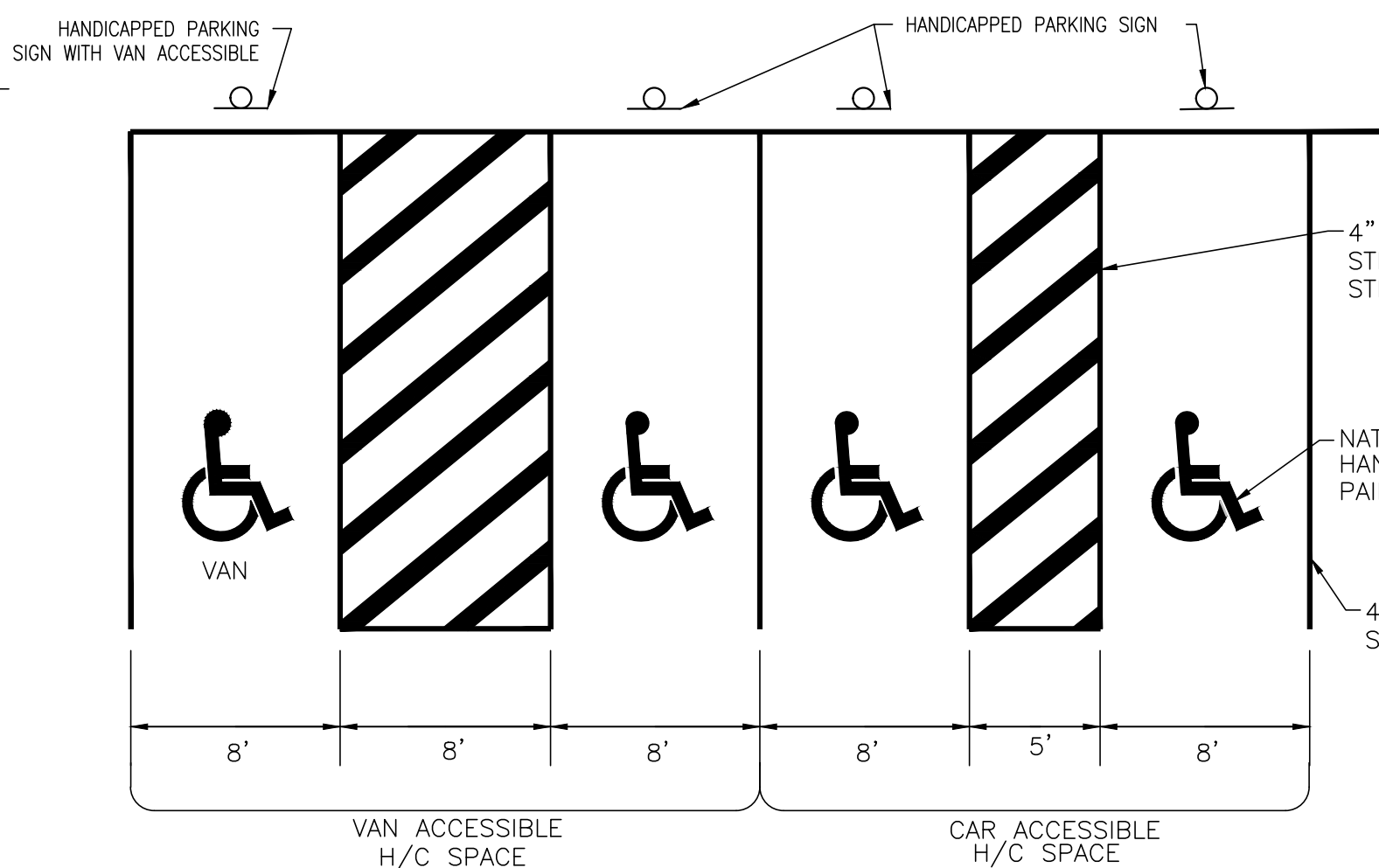


SIGN POST

Scale= NTS

11

6.0



ADA ACCESSIBLE PARKING STALL DETAIL

Scale= NTS

13

6.0

CURB TRANSITION DETAIL

Scale= NTS

14

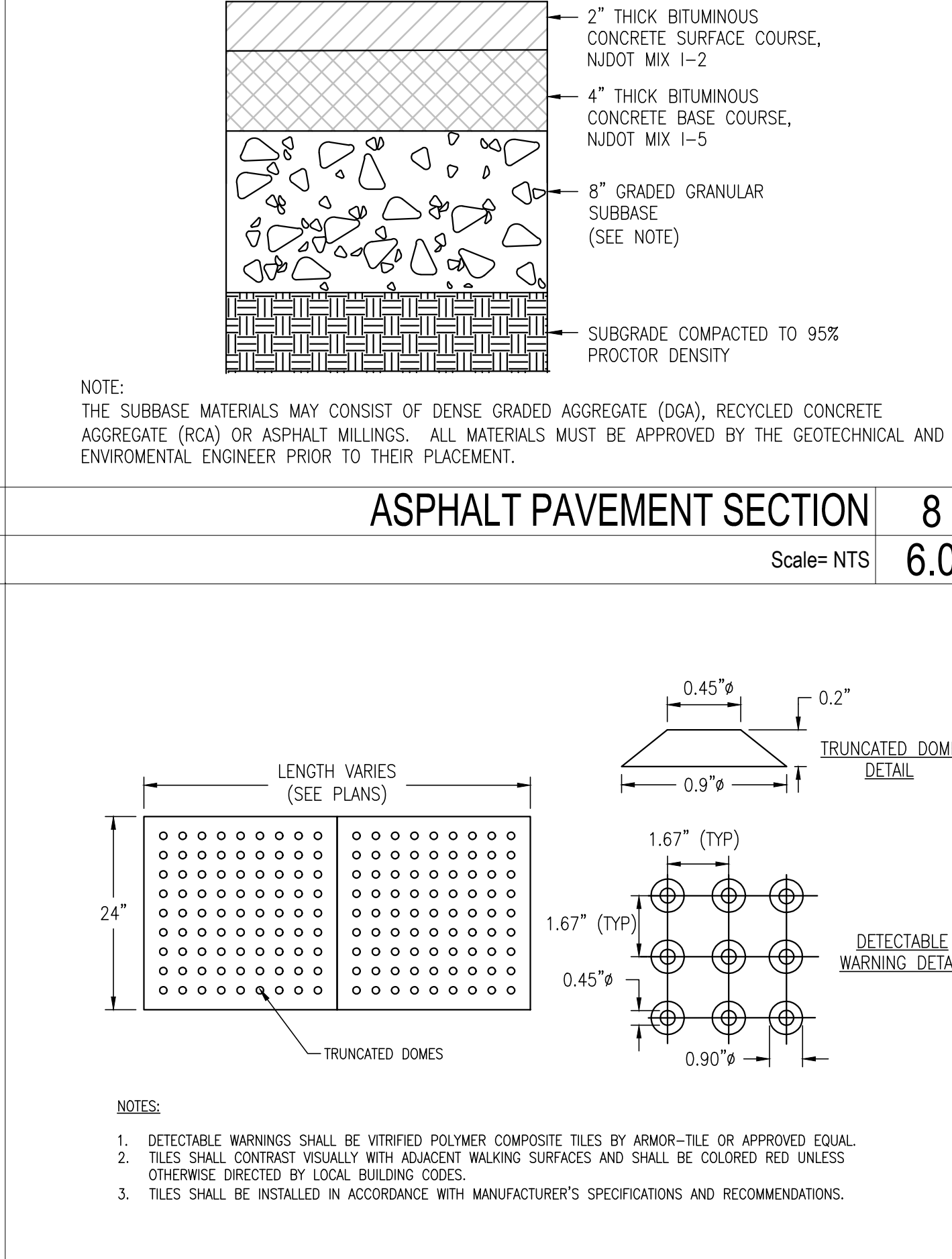
6.0

CONCRETE SIDEWALK

Scale= NTS

15

6.0

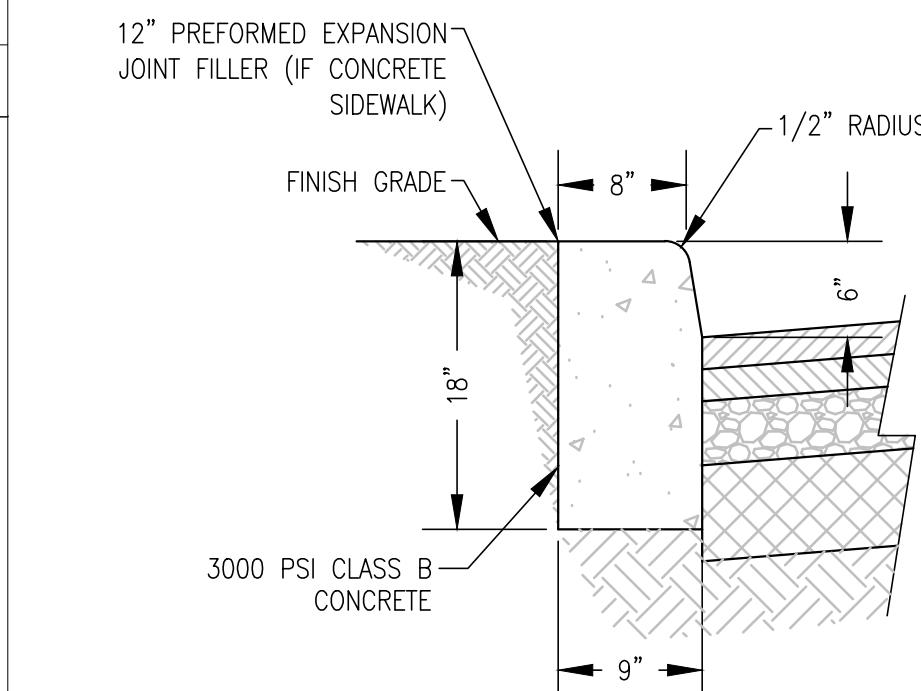


DETECTABLE WARNING SURFACE

Scale= NTS

12

6.0



TYPICAL CURB & PAVEMENT SECTION

Scale= NTS

16

6.0

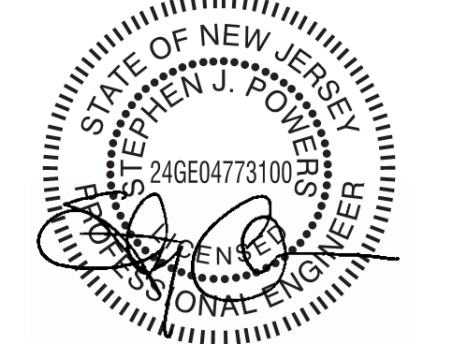


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PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
RICHARD PROCANIK

QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME

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PARKING LOT**

**NUTLEY
NEW JERSEY**

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PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
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ROOPE
REDEVELOPMENT
PLAN PHASE IIA

PROJECT NUMBER
20161711.0

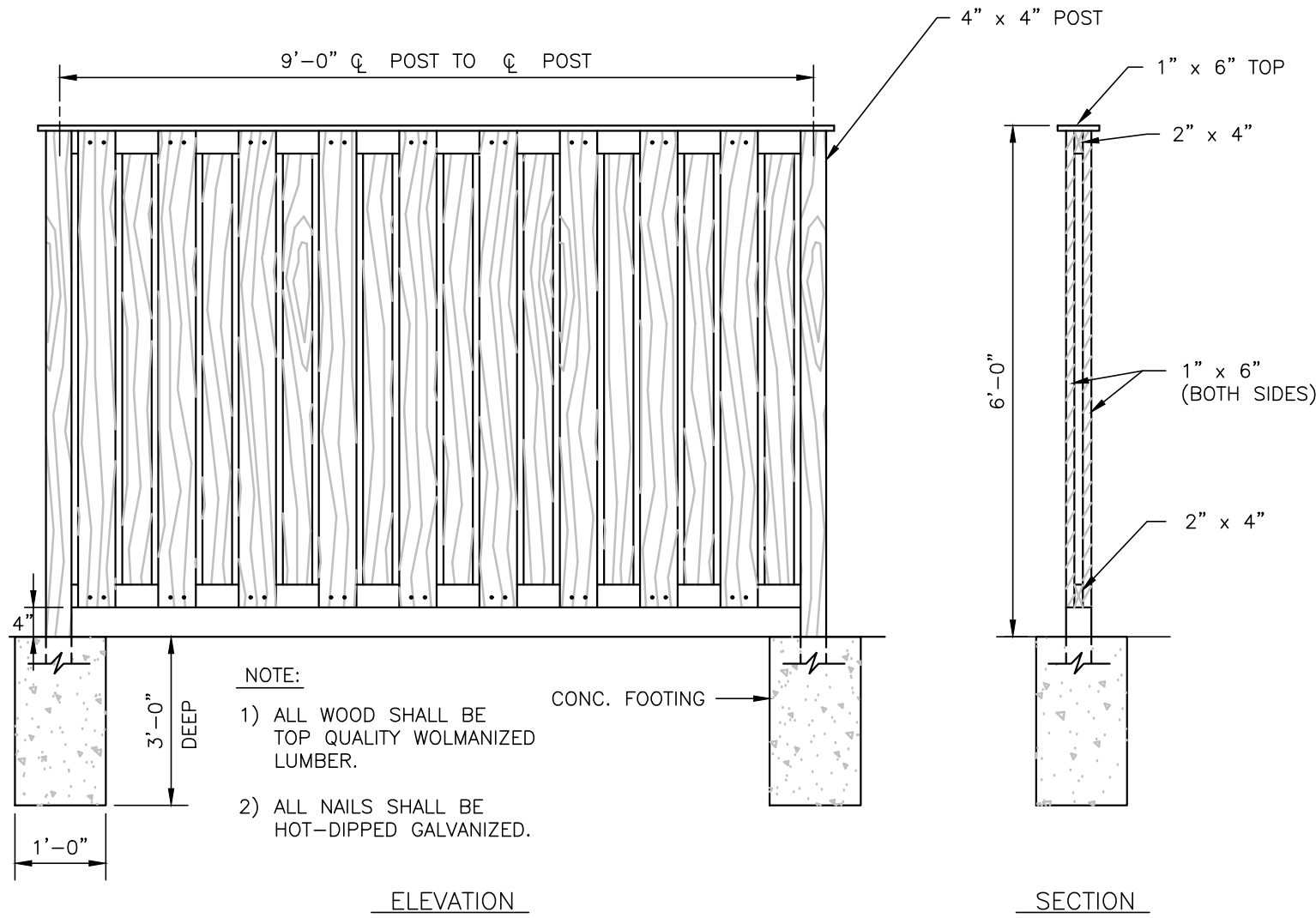
SHEET TITLE

**CONSTRUCTION
DETAILS**

SHEET NUMBER

6.0

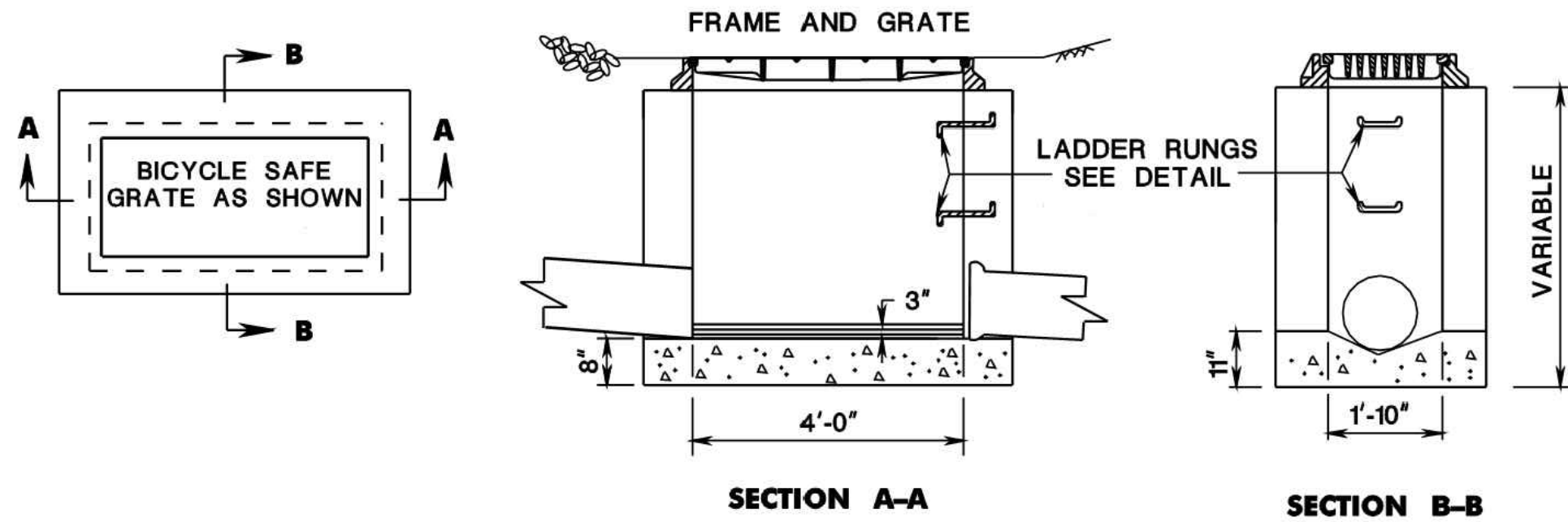
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6' HIGH BOARD ON BOARD FENCE

1

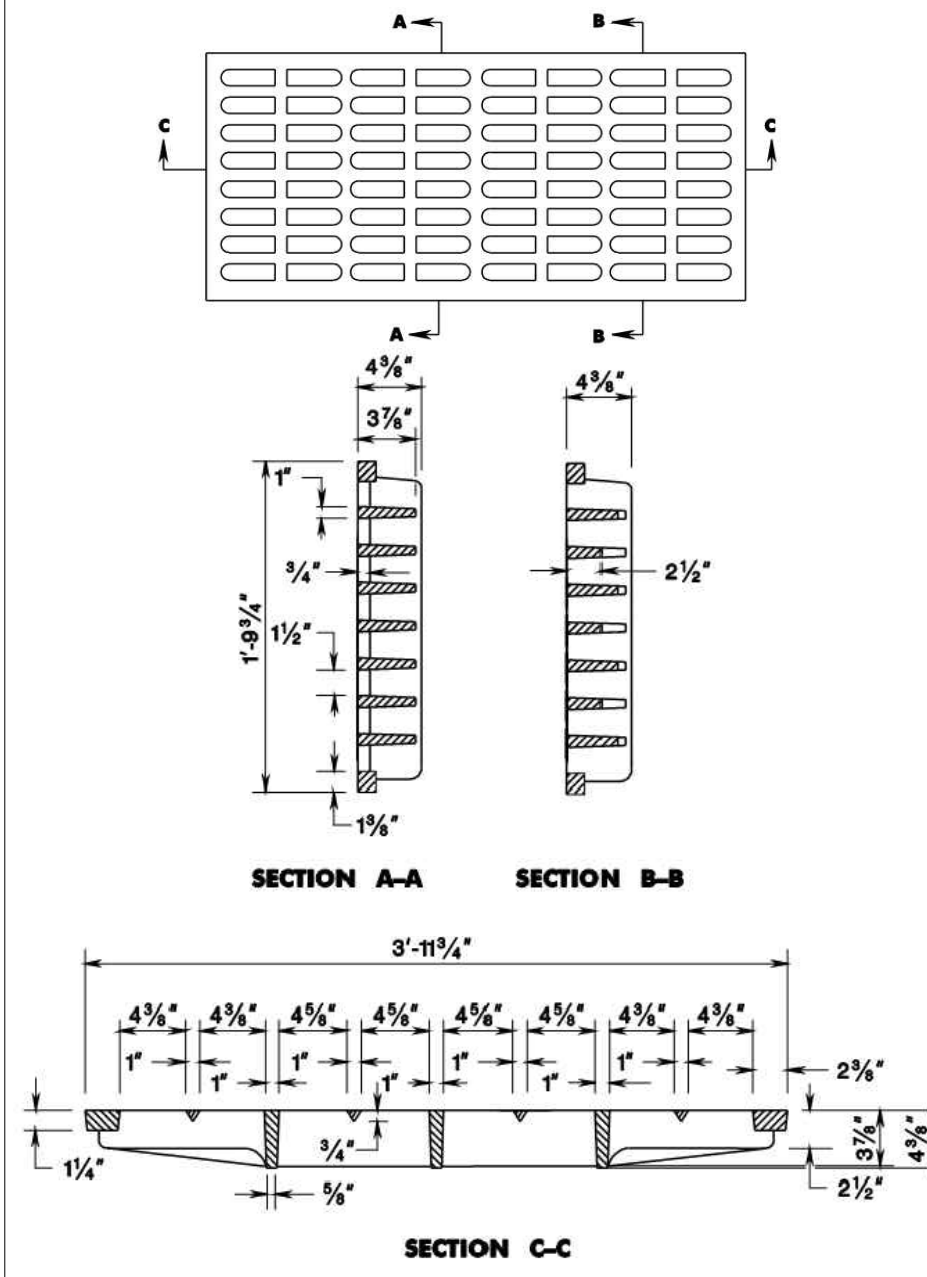
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TYPE "A" STORM INLET

2

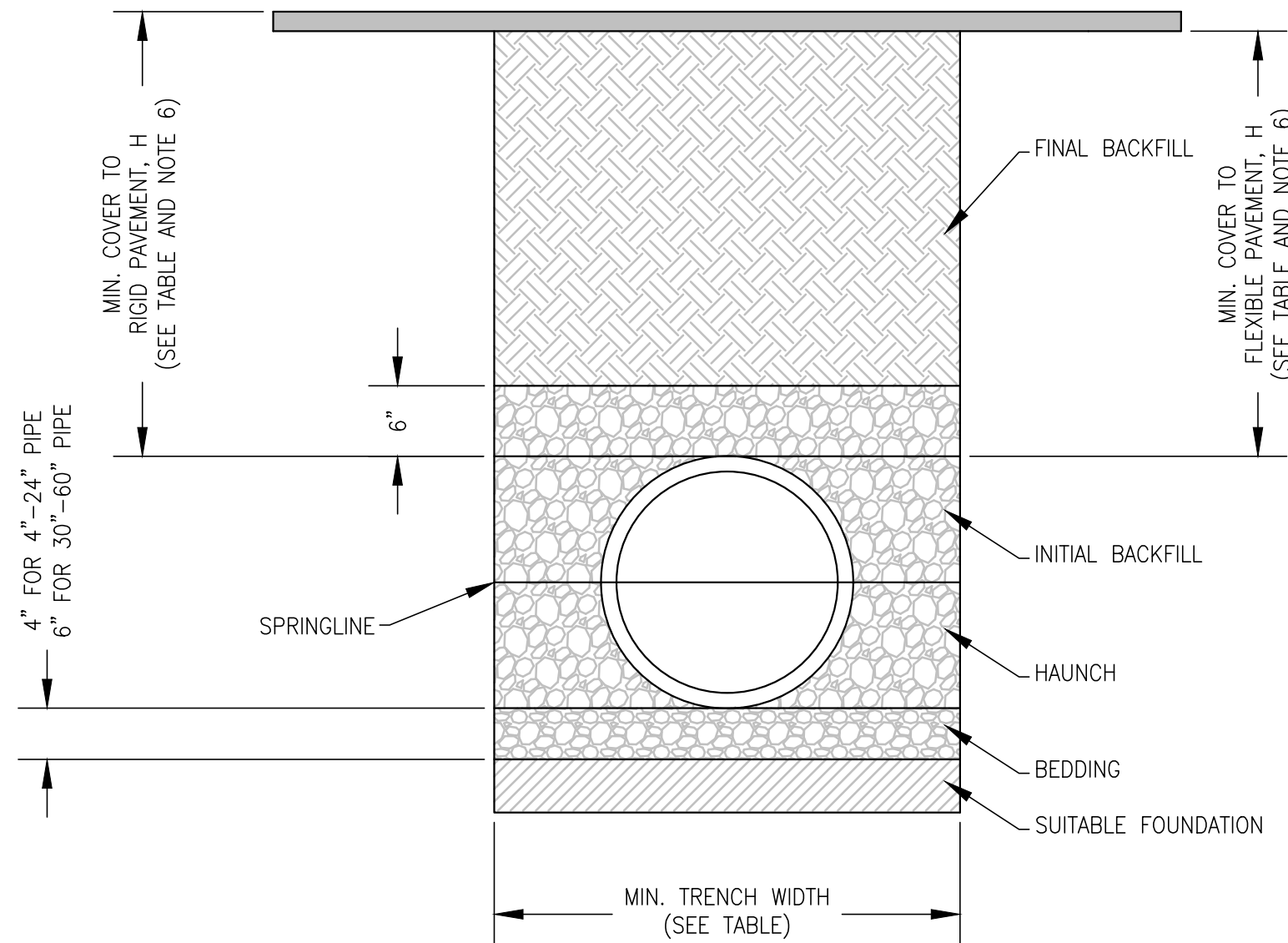
Scale= NTS 6.1



TYPE "A" INLET GRATE AND FRAME

3

Scale= NTS 6.1



PIPE DIAMETER	MIN. TRENCH WIDTH
12"	36"
24"	48"
30"	56"

PIPE DIAMETER	H-25 LOADING
24"	12"
30"	12"

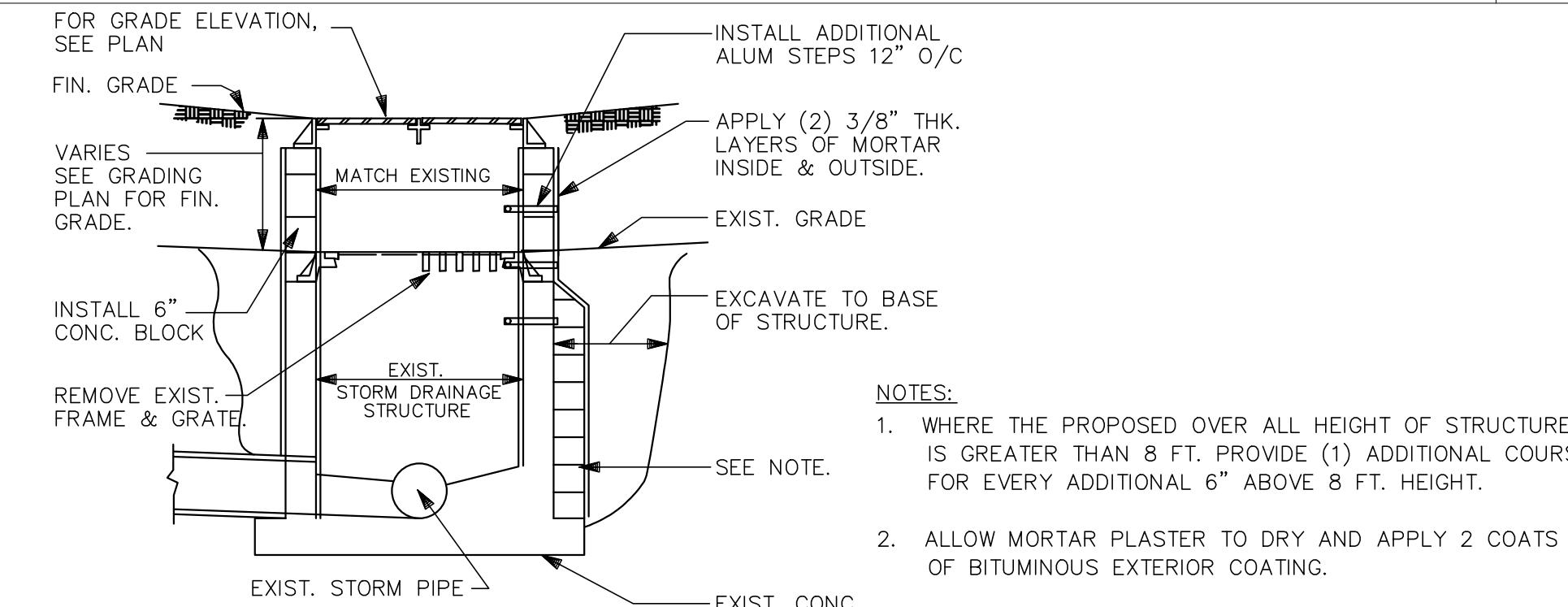
NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. **BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm).
5. **INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. **MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" OF COVER FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

HDPE STORM PIPE BEDDING

6

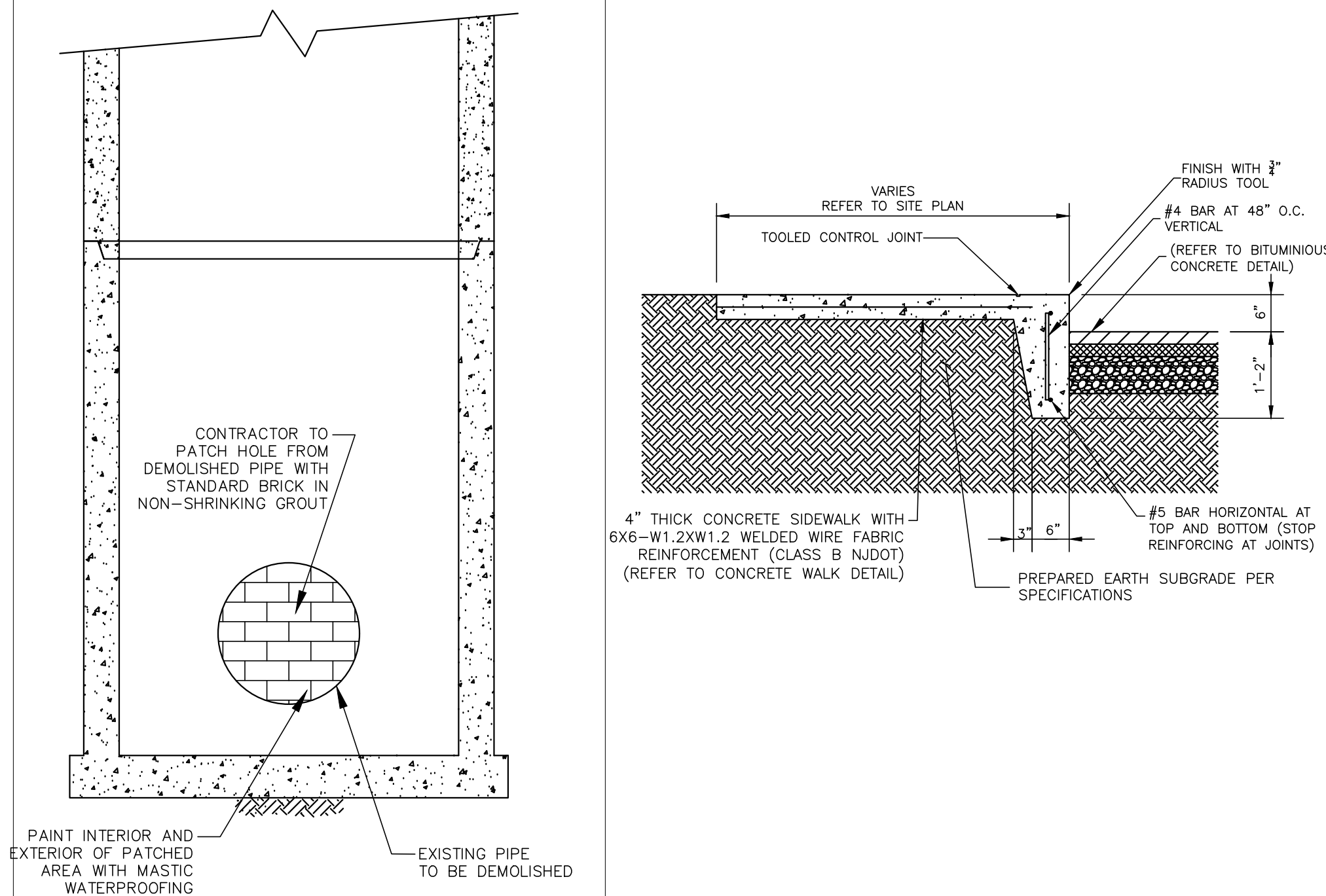
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STORM INLET STRUCTURE MODIFICATION

4

Scale= NTS 6.1



STORM MANHOLE REPAIR

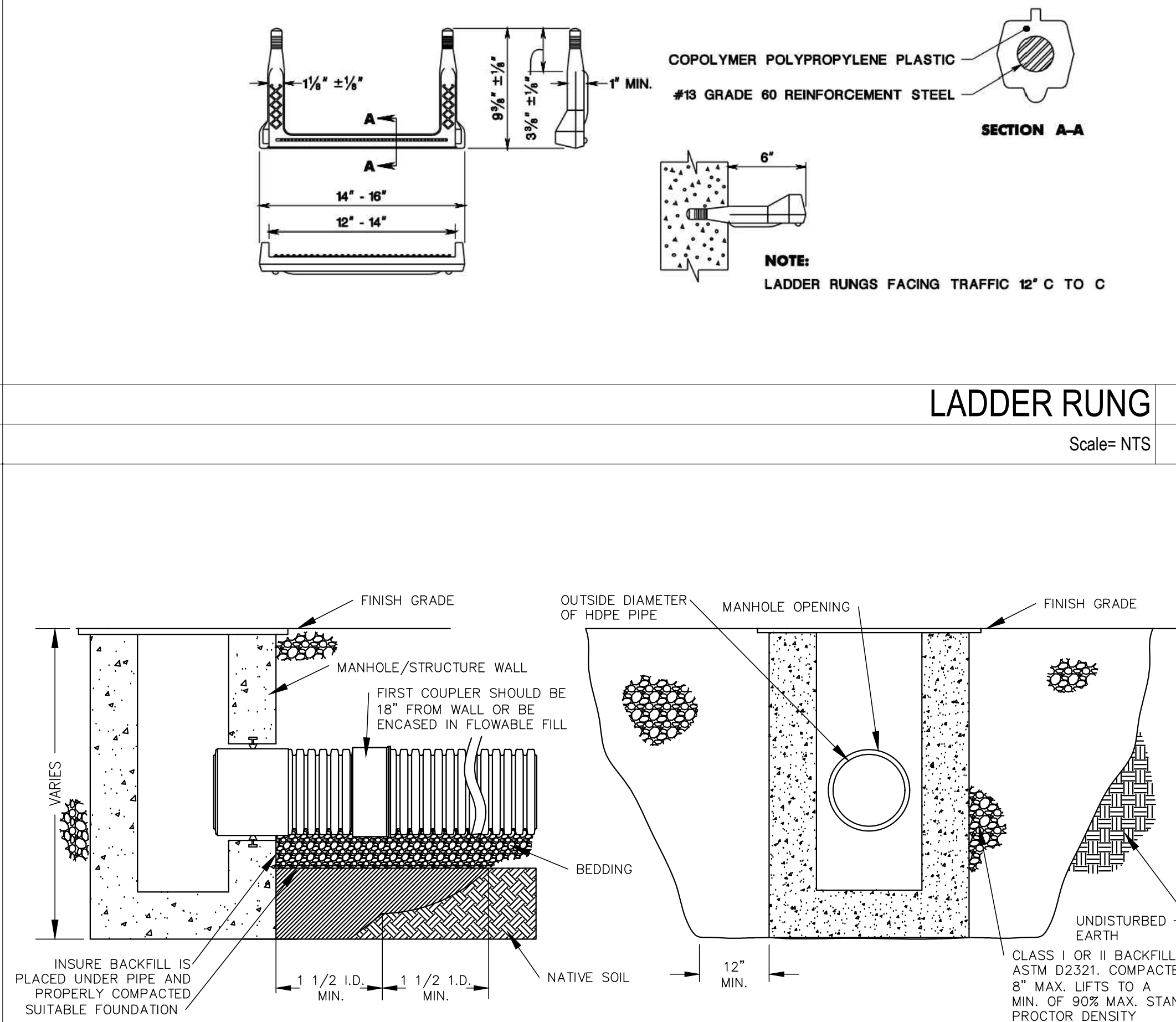
7

Scale= NTS 6.1

TURNED DOWN CONCRETE CURB

8

Scale= NTS 6.1



STORM CONNECTION

9

Scale= NTS 6.1

GreenbergFarrow

COAR: GA280797

92 East Main Street, Suite 410
Somerville, NJ 08876
t: 732-537-0811



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PROFESSIONAL ENGINEER
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PROJECT MANAGER
RICHARD PROCANIK
QUALITY CONTROL
RICHARD PROCANIK

DRAWN BY
THOMAS WIENCKOWSKI

PROJECT NAME
111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY

EXISTING BLOCK 300 LOT 1 & 1.05
PROPOSED LOT 1.05A
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NJ
ZONING DISTRICT: RRP-2A
ROOFE REDEVELOPMENT
PLAN PHASE IIA

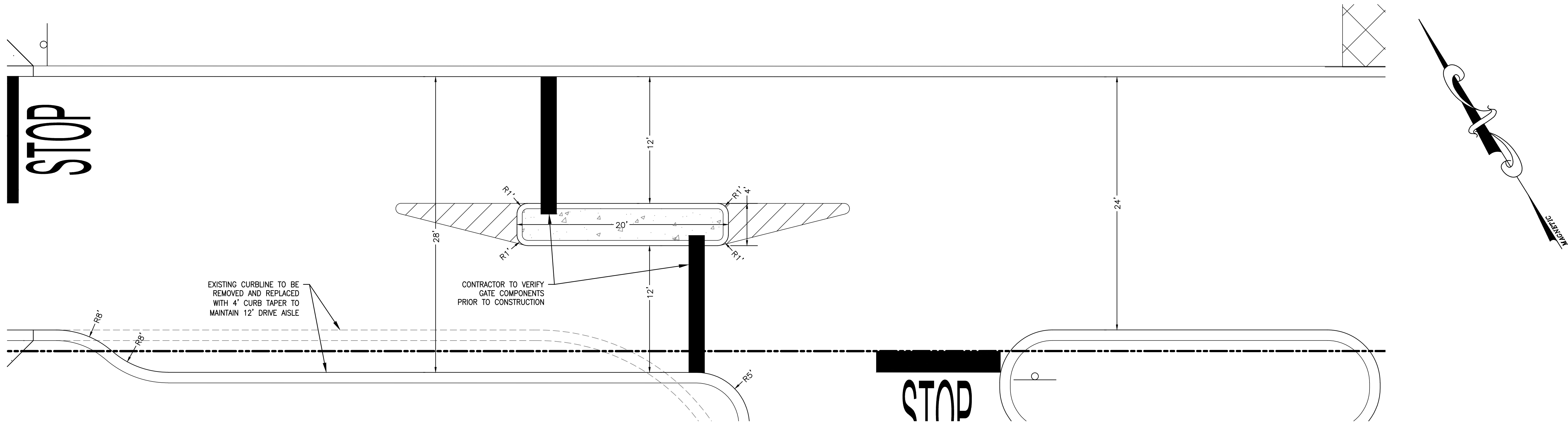
PROJECT NUMBER
20161711.0

SHEET TITLE
CONSTRUCTION
DETAILS

SHEET NUMBER

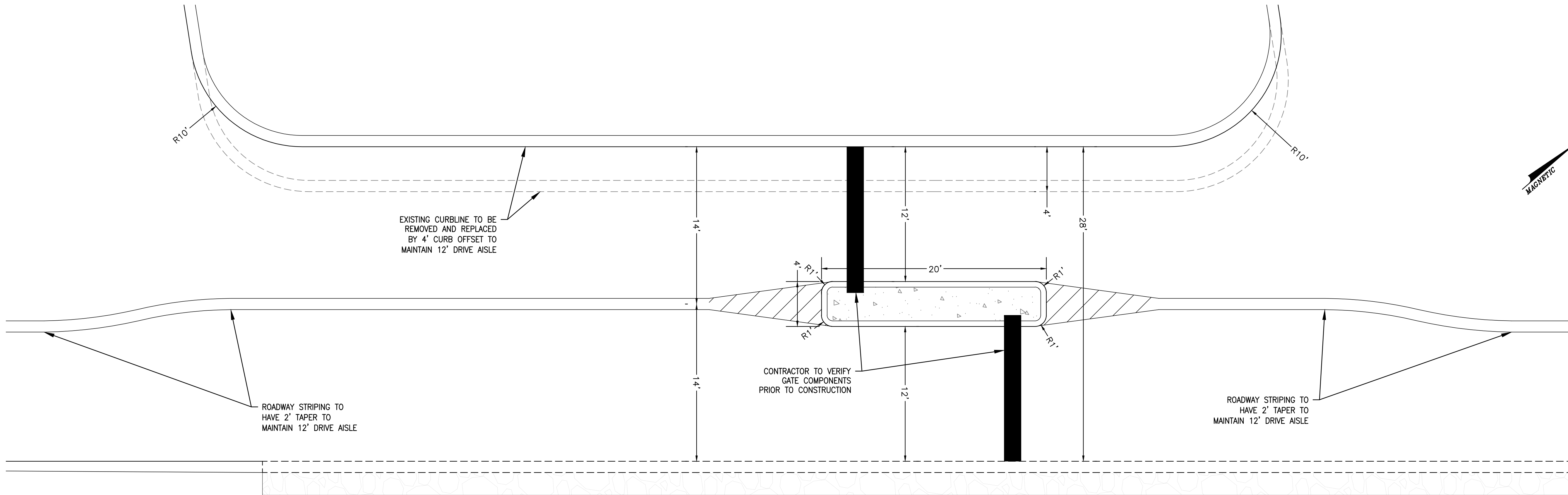
6.1

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PROPOSED WEST GATE ENLARGEMENT DETAIL

Scale= 1" = 5' 6.2



PROPOSED EAST GATE ENLARGEMENT DETAIL

Scale= 1" = 5' 6.2



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REDEVELOPMENT
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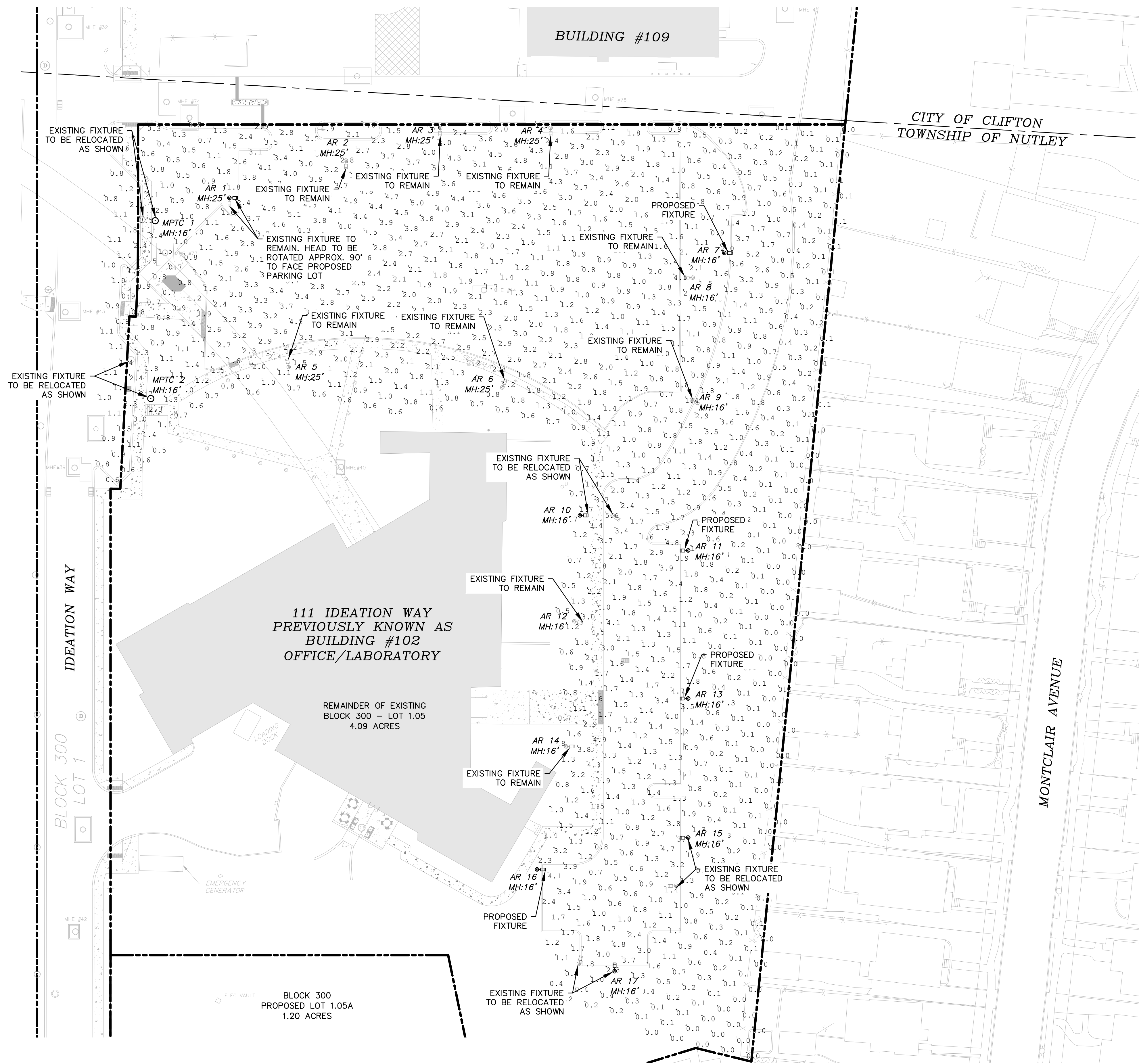
PROJECT NUMBER
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SHEET TITLE
**CONSTRUCTION
DETAILS**

SHEET NUMBER

6.2

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LEGEND

PROPERTY LINE

GENERAL LIGHTING NOTES

1. REFER TO SHEET 6.0/DETAIL 10 FOR LIGHTING POLE BASE DETAILS.
2. SITE LIGHTING SHALL BE TURNED OFF AFTER 11 PM.

SITE LIGHTING:

- (9) LIGHT POLES TO REMAIN IN PLACE
- (5) LIGHT POLES TO BE RELOCATED
- (4) LIGHT POLES TO BE ADDED
- (1) LIGHT FIXTURE TO BE ROTATED

Luminaire Schedule						
Symbol	Qty	Label	Catalog Number	Arrangement	LLF	Arr. Watts
⊙	2	MPTC	MPTC-55W32LED3K-G2-LE4	SINGLE	1.000	55.9
⊙	11	AR	AR3E35-6013K	SINGLE	1.000	65
⊙	6	AR	AR3P70-8013K	SINGLE	1.000	186.3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
111 Ideation Way	Illuminance	Fc	2.22	6.4	0.5	4.44	12.80

NOTE: CALCULATION SUMMARY IS BASED ON FOOTCANDLES WITHIN THE PARKING LOT AREAS ONLY.

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



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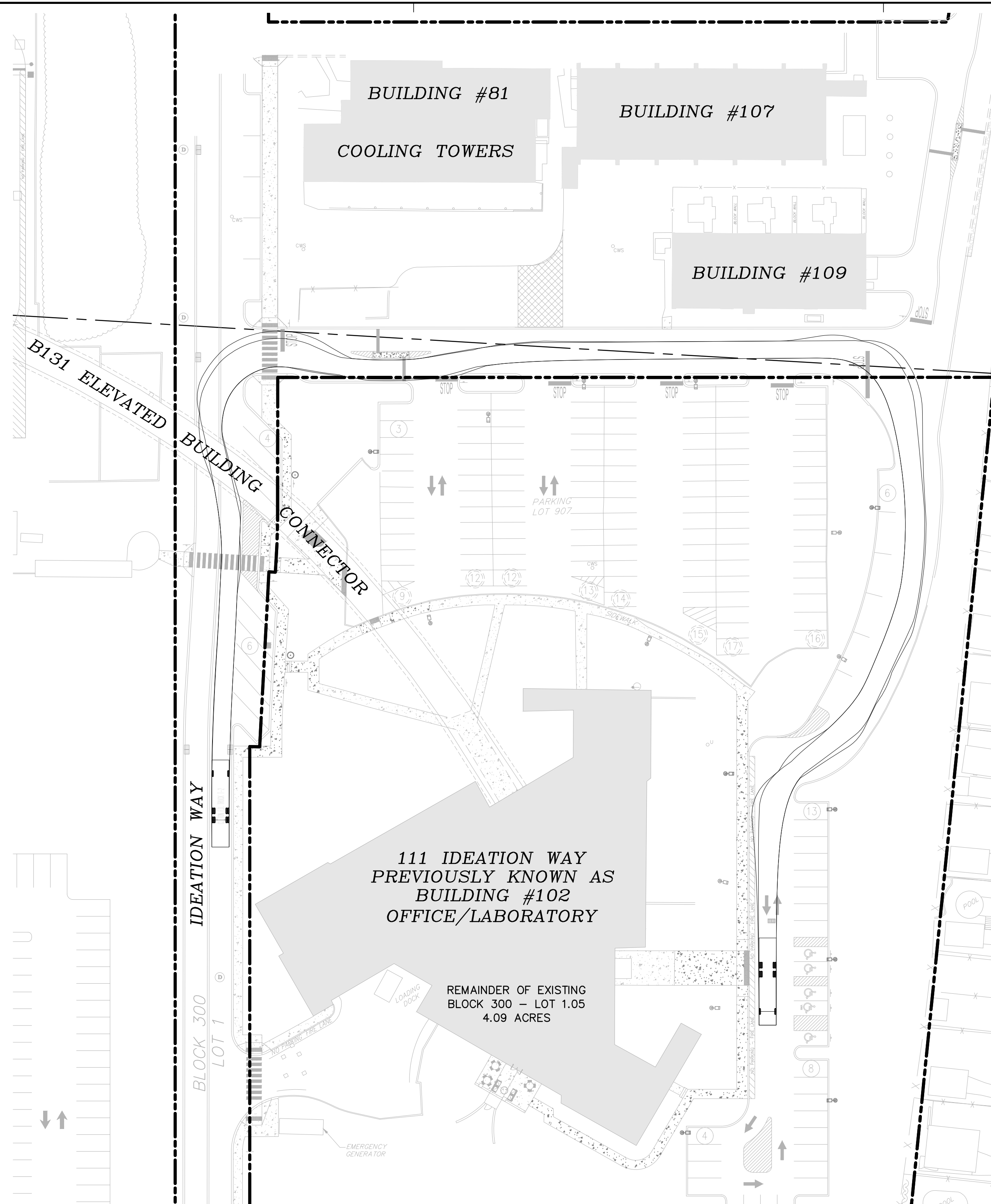
SHEET TITLE

LIGHTING
PLAN

SHEET NUMBER

7.0

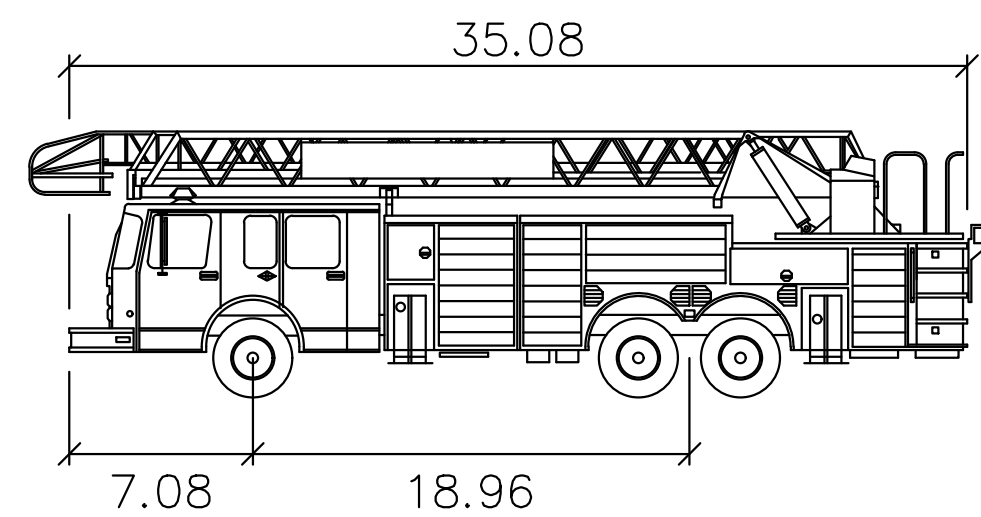
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FIRE TRUCK CIRCULATION ENTERING SITE

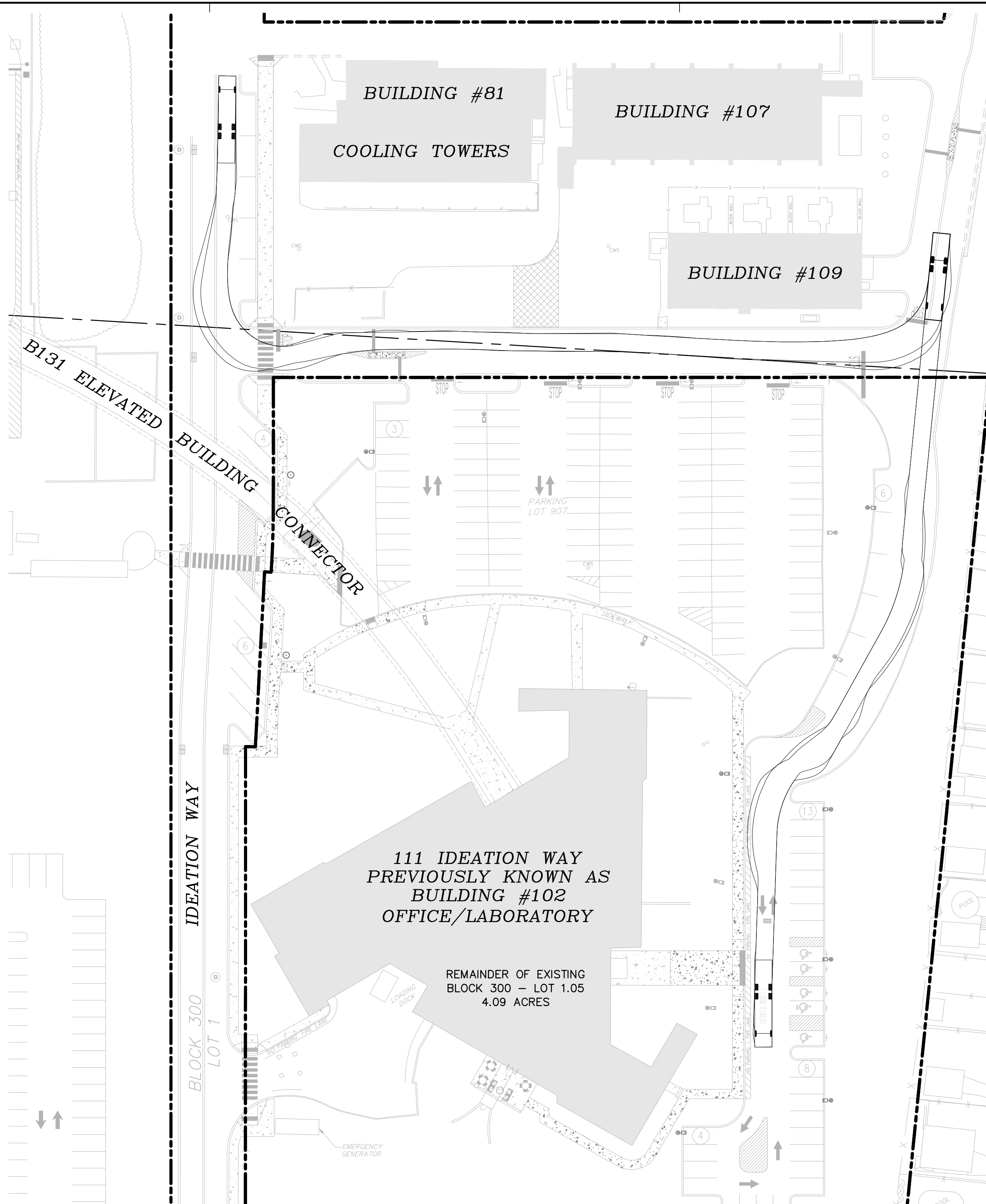
SCALE: 1"=40'

1
8.0



Nutley Fire Truck

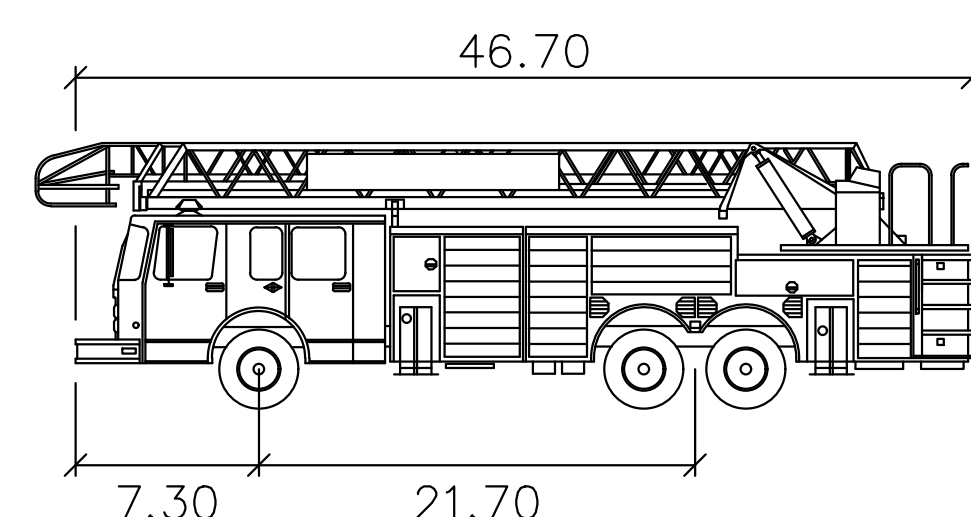
	feet
Width	: 8.17
Track	: 6.83
Lock to Lock Time	: 6.0
Steering Angle	: 40.3



FIRE TRUCK CIRCULATION EXITING SITE

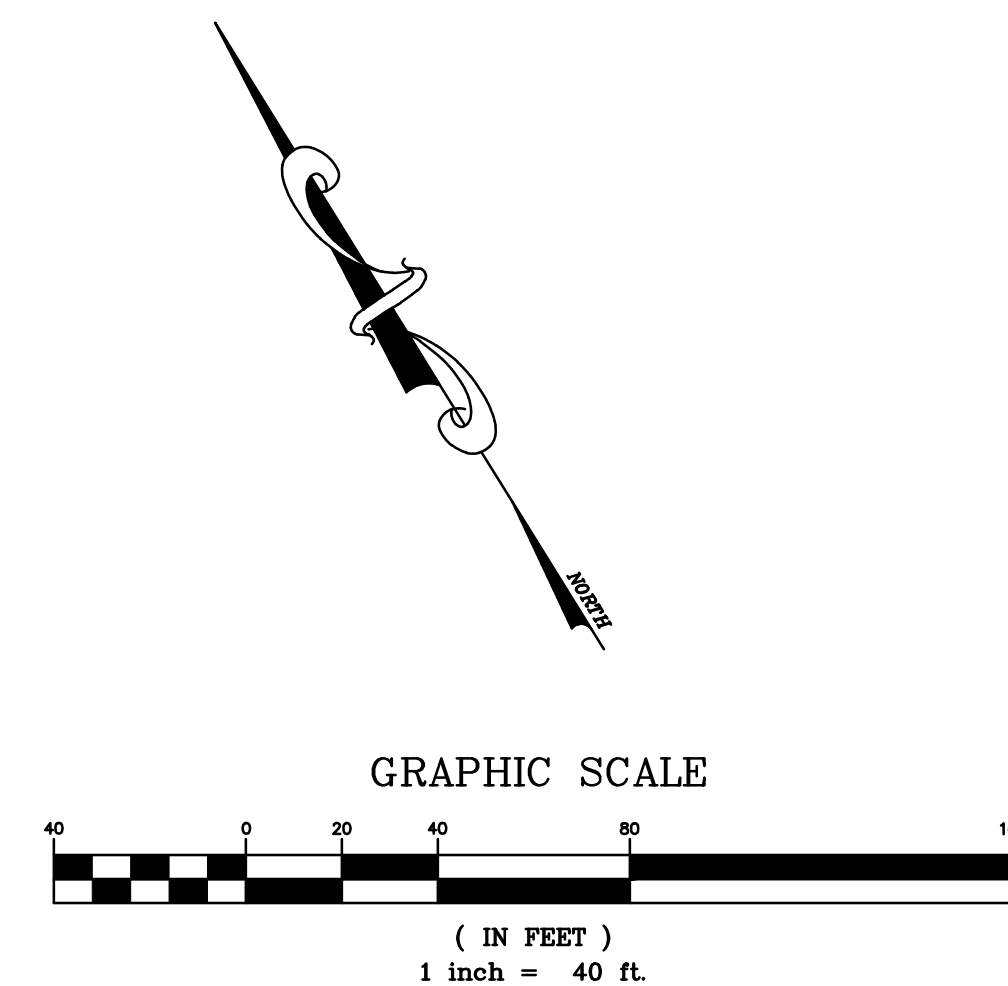
SCALE: 1"=40'

2
8.0



CLIFTON F.D. TRUCK T-2

	feet
Width	: 9.24
Track	: 9.24
Lock to Lock Time	: 6.0
Steering Angle	: 37.4



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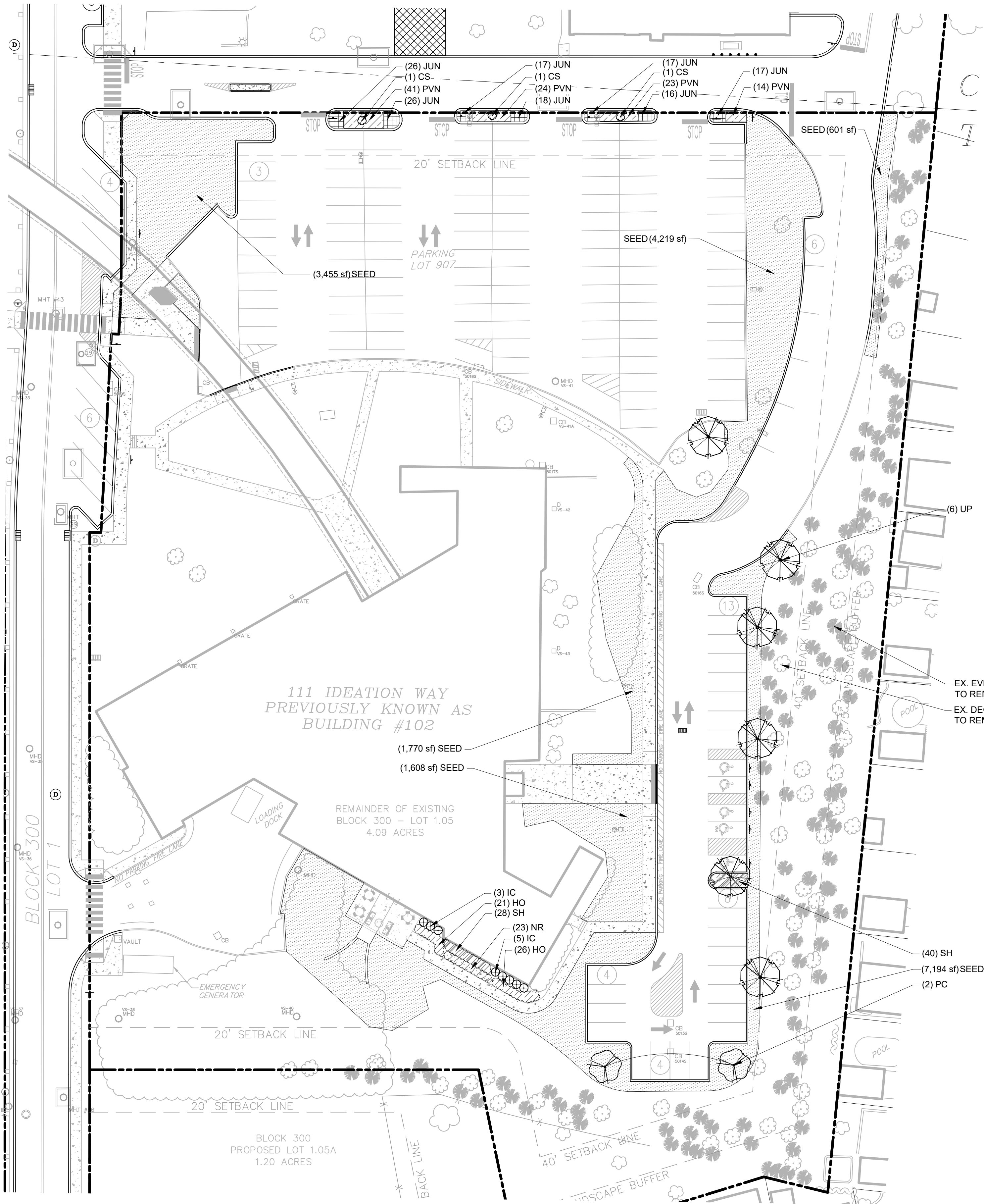
PROJECT NUMBER
20161711.0

SHEET TITLE
FIRE TRUCK
CIRCULATION
PLAN

SHEET NUMBER

8.0

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LANDSCAPE CALCULATIONS:

PARKING LOT INTERIOR LANDSCAPE AREA)	REQUIRED:	PROVIDED:
	5%	13% (6,563 SF INTERIOR LANDSCAPE AREA / 51,159 SF PARKING
1 TREE PER 5 PARKING SPACES	8 TREES (38 NEW SPACES / 5 = 7.6)	8 TREES

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PC	2	PYRUS CALLERYANA 'GLEN'S FORM' TM	CHANTICLEER PEAR	B & B	3" CAL	10' MIN.
	UP	6	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	3" CAL	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	
	IC	8	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	#03/3 GAL		
DECIDUOUS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	
	CS	3	CORNUS ALBA 'SIBIRICA' FULL WELL ROOTED	REDBARK DOGWOOD	B & B		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	JUN	137	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	3 GAL		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	HO	47	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL@ 24" O.C.		
	SEED	18,847 SF	KENTUCKY BLUE GRASS AND TURF-TYPE TALL FESCUE REFER TO SOIL EROSION PLANS	SEED MIX	SEED		
	NR	23	NEPETA RACEMOSA 'WALKER'S LOW'	CATMINT	1 GAL@ 24" O.C.		
	PVN	102	PANICUM VIRGATUM 'NORTHWIND' FULL WELL ROOTED IN POT	SWITCH GRASS	3 GAL		
	SH	68	SARCOCOCCA HOOKERIANA HUMILIS FULL WELL ROOTED IN POT	SWEET BOX	3 GAL		

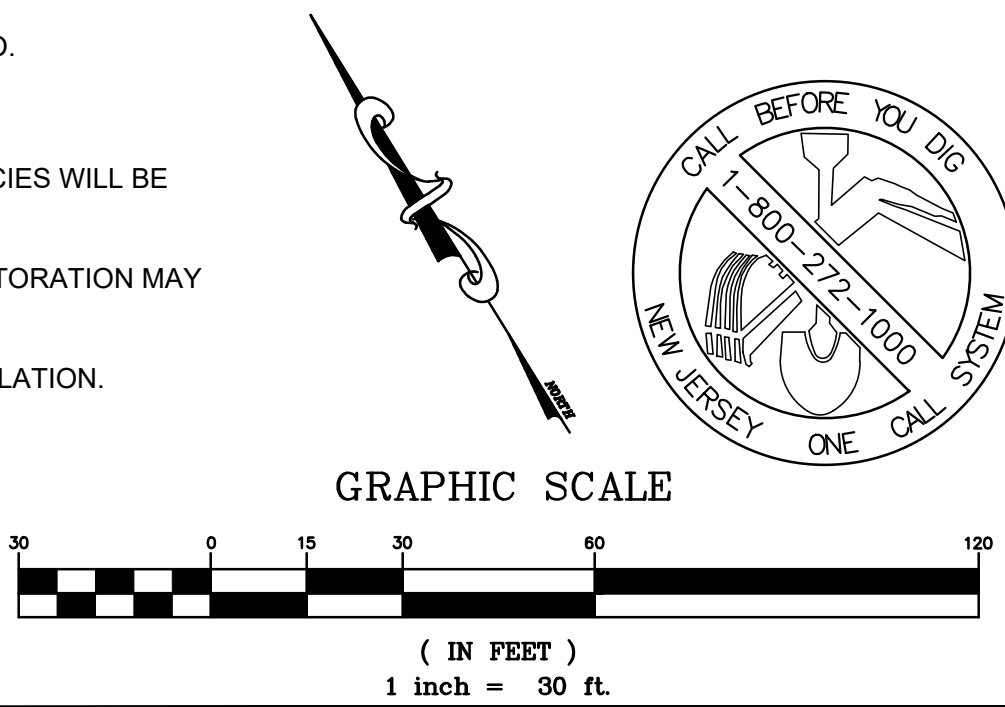
TREE CALIPER MEASUREMENTS ARE TO BE MEASURED AT A PLANTED HEIGHT OF 4.5 FEET. SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.).

MAINTENANCE OF LANDSCAPING:

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD OF TWO (2) YEARS.

GENERAL NOTES:

- GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
- CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
- TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
- EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
- EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
- ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
- NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
- REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.
- TREE WATERING BAGS ARE RECOMMENDED FOR ALL PROPOSED TREES AT THE TIME OF INSTALLATION.



PROJECT TEAM

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07/21/20	PLANNING BOARD SUBMISSION

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
R. PROCANIK

QUALITY CONTROL
R. PROCANIK

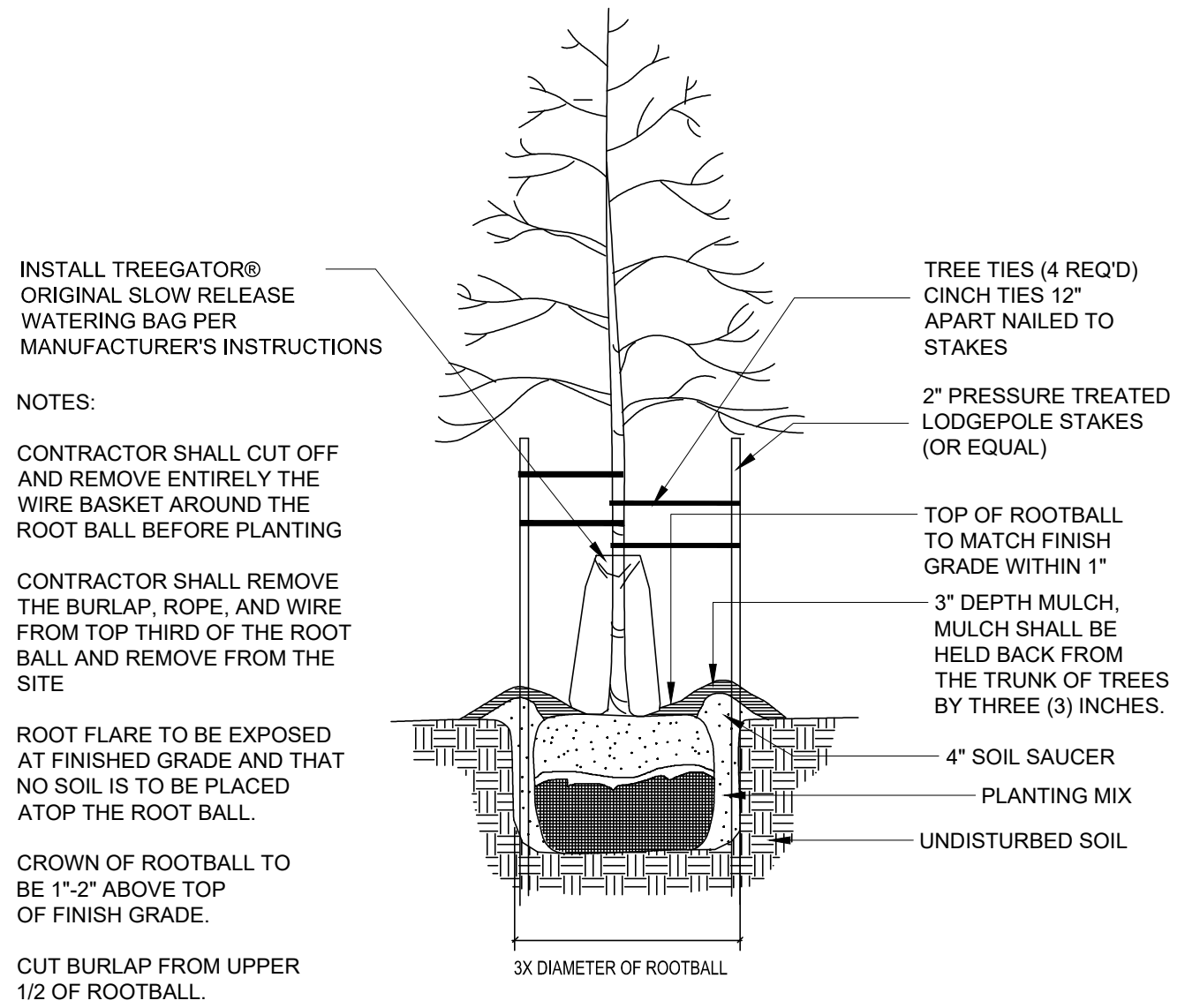
DRAWN BY
F. MADDOX

PROJECT NAME

ON3 -
111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY

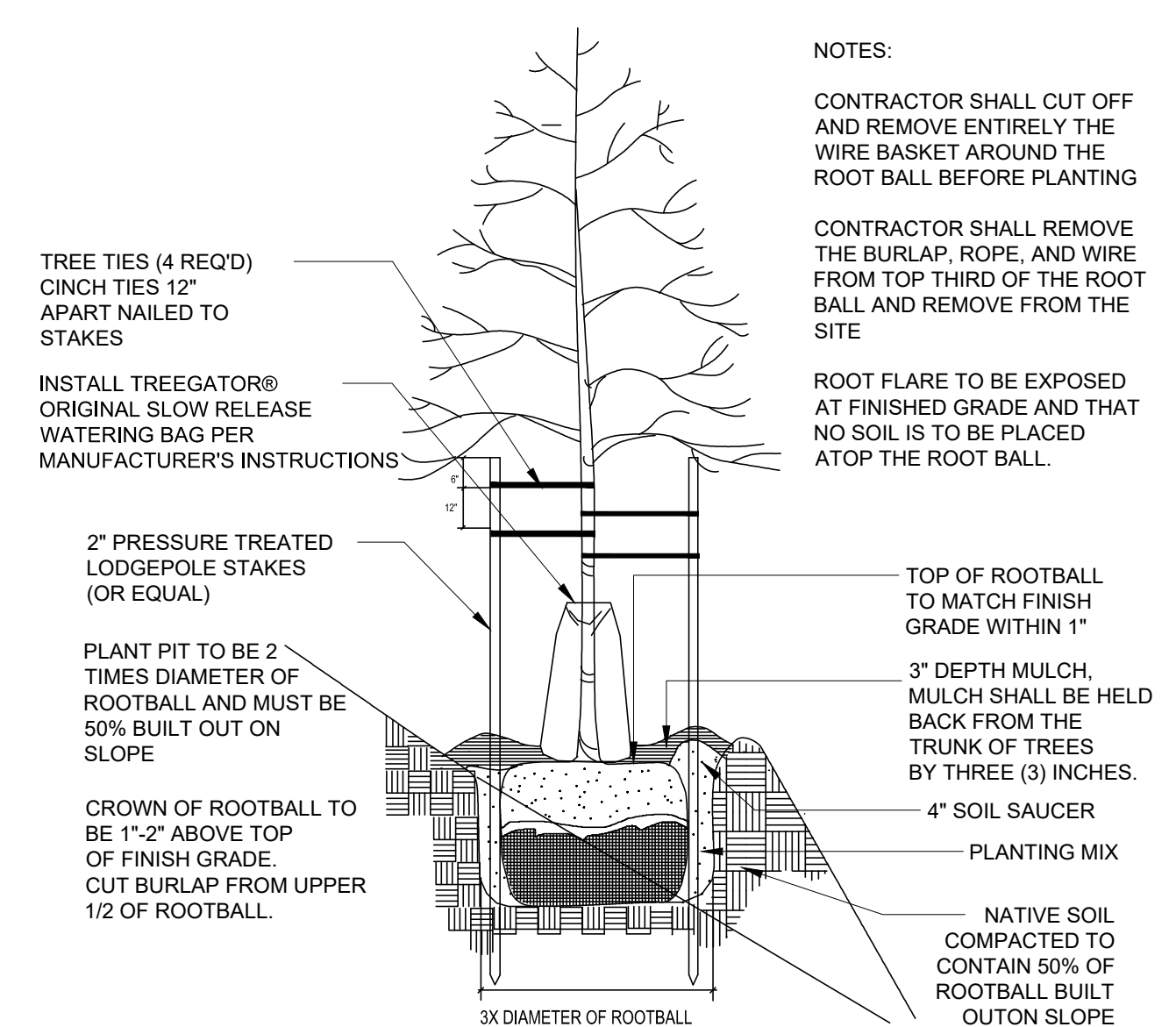
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1 TREE PLANTING DETAIL

NOT TO SCALE

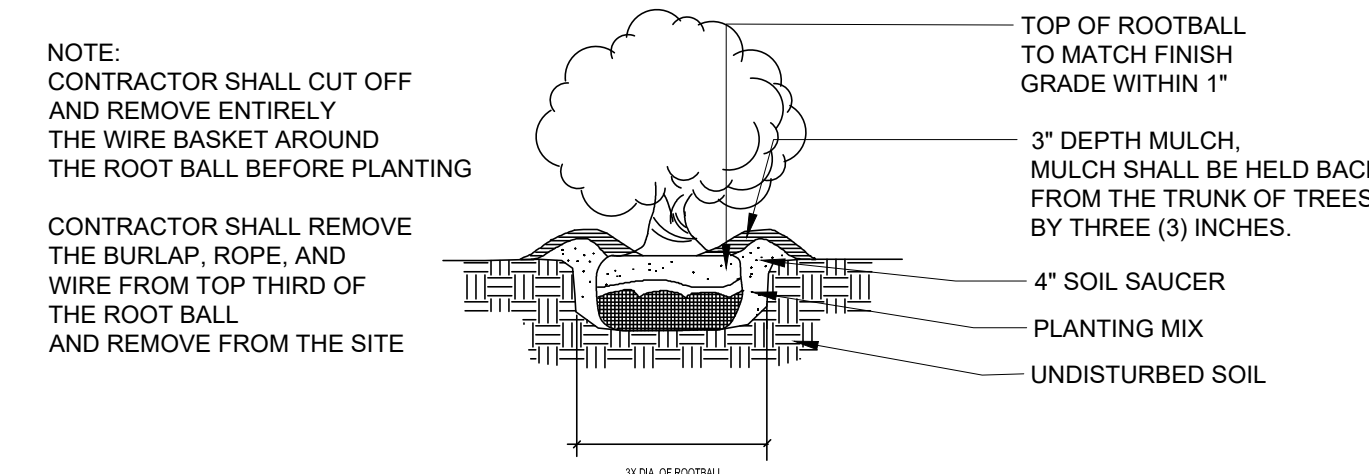
329343.39-01



2 TREE PLANTING DETAIL (SLOPE)

NOT TO SCALE

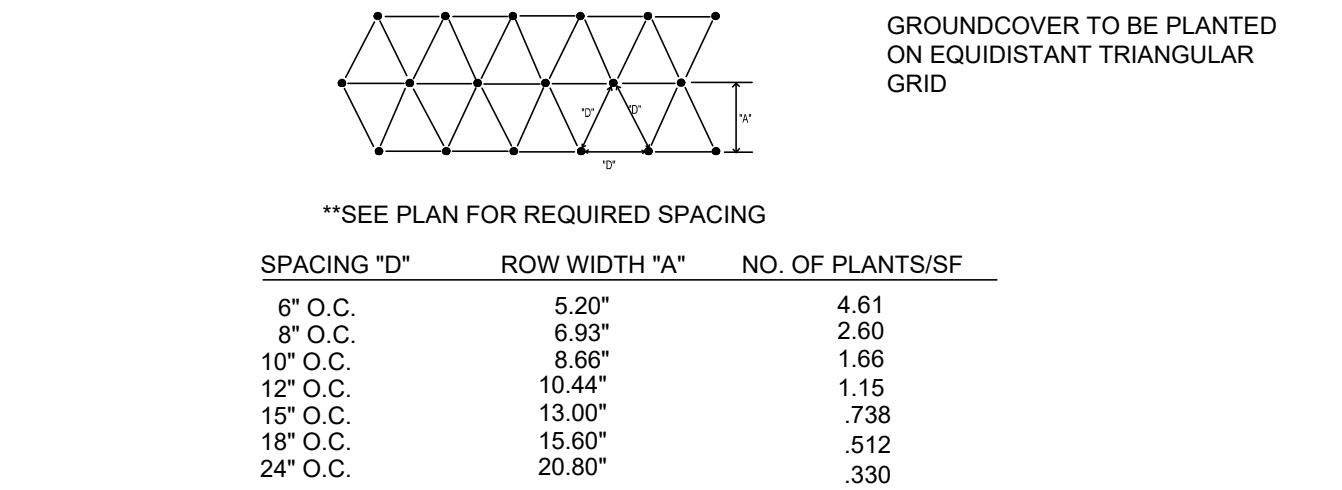
329343.39-02



3 SHRUB PLANTING DETAIL

NOT TO SCALE

DETAIL-16



4 GROUND COVER PLANTING DETAIL

NOT TO SCALE

329333.83-01

NOTES:

LANDSCAPE PLANTING

- THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND VERIFY THEM TO HIS SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
- PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
- ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD, AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF, "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI.Z60.1).
- ALL PLANT MATERIAL ARE SUBJECT TO THE APPROVAL BY THE OWNER, AND MAY BE INSPECTED AT THE PLACE OF GROWTH OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL WHICH IS NOT TO HIS SATISFACTION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK (INCLUDING WATERING, SPRAYING FOR INSECTS AND DISEASE, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING) FOR A PERIOD OF 90 DAYS AFTER ACCEPTANCE BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS POSSIBLE WITH LIKE KIND AND SIZE AT NO CHARGE TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM SOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL AT A MINIMUM ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12 LBS. /1000 SF OF 10-10-10 FERTILIZER.
- ALL PLANTING AREAS, SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.
- CONTRACTOR IS TO TAKE SPECIAL CARE WHEN INSTALLING NEW PLANT MATERIAL SO AS NOT TO DISTURB ANY EXISTING PLANTINGS DESIGNATED TO REMAIN. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO OWNER.

TURF AND LAWNS

- ALL DISTURBED AREAS SHALL RECEIVE 4" MINIMUM OF TOPSOIL (COMPACTED) AND GRASSED WITH SOD OR SEED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO COORDINATE HIS/HER WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE CONTRACTOR IS TO USE STOCKPILED TOPSOIL ONSITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
- TOPSOIL, SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEEOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
- SODDED AREAS SHALL BE GRASSED WITH SPECIES PER THE PLANT SCHEDULE. SOD SHALL BE LAID WITH CLOSE, TIGHT FITTING JOINTS, WHICH SHALL BE LAID IN ROWS PARALLEL TO THE CONTOUR LINES. ALL SODDED AREAS SHALL BE ROLLED TO ACHIEVE A SMOOTH, UNIFORM LAWN.
- SEEDDED AREAS SHALL BE GRASSED WITH SPECIES PER THE PLANT SCHEDULE AT A RATE OF (5) POUNDS PER 1000 SQ. FT. OF GRASSED AREA. SEED MAY BE APPLIED EITHER BY A MECHANICAL SPREADER OR HYDROSEEDING. WHICHEVER METHOD IS CHOSEN A THICK STAND OF GRASS SHALL BE ACHIEVED WITHIN 21 DAYS OR A SECOND OVERSEEDING WILL BE REQUIRED.
- FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS. HYDROSEEDING MAY BE SUBSTITUTED FOR MECHANICAL SEEDING BY MIXING SEED, FERTILIZER AND PULVERIZED MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. MIX UNTIL UNIFORMLY BLENDED INTO HOMOGENEOUS SLURRY SUITABLE FOR HYDRAULIC APPLICATION. APPLY UNIFORMLY AT A RATE AS REQUIRED TO OBTAIN SPECIFIED SEEDING RATE.
- ANY EXISTING LAWN AREA DISTURBED BY CONSTRUCTION IS TO BE REPAIRED TO ITS ORIGINAL CONDITION BY SEEDING AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.

TREES AND SHRUBS

- ALL TREES LOCATED IN GRASSED AREAS SHALL BE PLANTED AS PER DETAIL AND MULCHED WITH AT LEAST FOUR (4) FOOT DIAMETER OF SHREDDED BARK MULCH, TO A MINIMUM 3" DEPTH.
- SHRUB BEDS SHALL BE MOUNDED WITH TOPSOIL A MINIMUM OF 6" ABOVE TOP OF CURB AND SHALL BE MULCHED WITH A 3" DEPTH OF SHREDDED BARK MULCH.
- TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM BACK OF SIDEWALK OR BUILDING STRUCTURE.
- LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
- ALL TREES ARE TO BE STAKED AND GUYED PER PLANTING DETAILS.

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
07/07/20	BD SET
07/21/20	PLANNING BOARD SUBMISSION

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PROFESSIONAL IN CHARGE
STEPHEN POWERS
PROFESSIONAL ENGINEER
LICENSE NO. 24GE04773100

PROJECT MANAGER
R. PROCANIK

QUALITY CONTROL
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DRAWN BY
F. MADDOX

PROJECT NAME

ON3 -
111 IDEATION WAY
PARKING LOT

NUTLEY
NEW JERSEY



PROJECT NUMBER
20161711.0

SHEET TITLE
111 IDEATION WAY
LANDSCAPE NOTES
& DETAILS

SHEET NUMBER

L-2.0